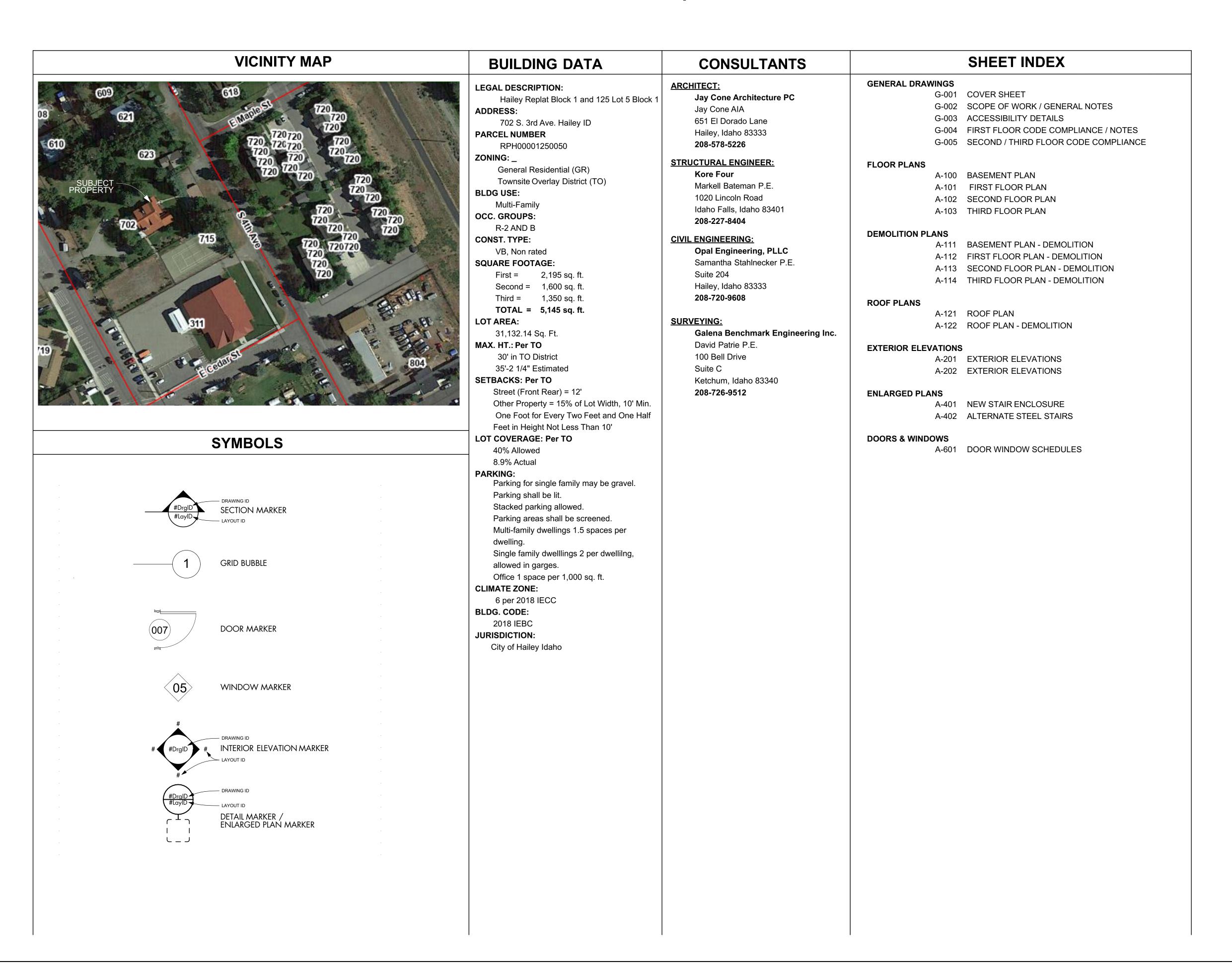
The Inn at Ellsworth Estate

Remodel and Adaptive Re-Use



JAY COI ARCHITECTUR 208.578.5, jcone@jayconearchite www.jayconearchite

> Date: 4/15/2024



ARCH The Inn at Ellsworth Estate

Issue:

WHATSOEVER. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING EXPRESS WRITTEN PERMISSION AND CONSENT FROM JAY CONE ARCHITECTURE PC.

1" ACTUAL

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING HAS BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

LAW COPY RIGHT AND OTHE

PROPERTY RIGHTS FOR THESE LANS. THESE PLANS ARE NOT BE REPRODUCED, CHANGED O

THIS DRAWING HAS
BEEN ENLARGED OR
REDUCED, AFFECTING ALL
LABELED SCALES.

Scale: AS NOTED

Drawn:

G-001

Job: 2024-3

SHEET 1

GENERAL NOTES

(ALL MAY NOT APPLY)

- DISTRIBUTED ELECTRONICALLY IF YOU ARE NOT PART OF THE PROJECT TEAM WITHOUT PRIOR APPROVAL OF THE REGISTERED DESIGN PROFESSIONAL OF RECORD.
- 2. DRAWINGS ARE NOT INTENDED TO BE SCALED. DIMENSIONS ARE FOR CLARIFICATION OF DIMENSIONS WHERE NONE ARE SHOWN.
- 3. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE LATEST ADOPTED BUILDING CODE EDITIONS AND THE CONDITIONS AND SPECIFICATIONS OF ALL GOVERNING AUTHORITIES.
- 4. CONTRACTOR SHALL NOTIFY ARCHITECT & OWNER OF CONDITIONS THAT ARE IN CONTRADICTION TO THE INFORMATION PROVIDED IN THESE DOCUMENTS, WHERE SUCH CONDITIONS WILL AFFECT THE WORK DESCRIBED IN THESE DOCUMENTS.
- 5. SHOULD DIMENSIONAL ERRORS OCCUR, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO COMMENCEMENT OF THAT PORTION OF THE WORK. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE MEASUREMENTS. DETAIL DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL SMALL-SCALE DRAWINGS. DETAIL REPRESENTATIONS HAVING SCALE AND DIMENSIONS SHALL GOVERN
- 6. THE SUB CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND BEFORE ANY WORK IS CONSTRUCTED OR FABRICATED DIMENSIONS ARE TYPICALLY TO FACE OF STRUCTURE AND FRAMING UNLESS OTHERWISE NOTED.
- 7. SHOULD A CONFLICT OR DISCREPANCY APPEAR BETWEEN THE DRAWINGS AND SPECIFICATIONS OR BETWEEN ARCHITECTURAL, STRUCTURAL, , AND/OR CIVIL ENGINEERING DRAWINGS, OR WORK PERFORMED BY OTHERS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT
- 8. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL REVIEW THE FULL CONTENT OF THE PLANS FOR DISCREPANCIES AND GUARD AND THE RISER. OMISSIONS PRIOR TO COMMENCEMENT OF WORK. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ANY NON-CONFORMANCE WITH THE FULL CONTENT OF THE PLANS AND SPECS.
- 9. CONTRACTOR AND SUBCONTRACTOR SHALL BE RESPONSIBLE FOR SHALL RECEIVE POWER FROM THE BUILDINGS PRIMARY POWER TRADE SPECIFIC CODE REQUIREMENTS.
- 10. ADDRESS NUMBERS MUST BE POSTED ON THE BUILDING. CLEARLY VISIBLE FROM THE STREET AND BE AT LEAST 4".
- 11. PROVIDE ALL BLOCKING REQUIRED FOR ATTACHMENT OF ALL WALL HUNG ITEMS. (I.E. TOWEL BARS, COUNTERS, ROOF LADDERS ETC.) BLOCKING SHALL BE PRESSURE TREATED FIRE RESISTIVE IN RATED BUILDING AND WALL ASSEMBLIES, STANDARD NOMINAL LUMBER SIZES IN NON RATED ASSEMBLIES.
- 12. SAFETY GLAZING IS REQUIRED PER IRC, IN FIXED OR OPERABLE PANELS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF A DOOR AND OR TAPED. THE EDGES OF THE VAPOR RETARDER SHALL EXTEND 6 60" ABOVE A STANDING SURFACE. SAFETY GLAZING IS ALSO REQUIRED IN ALL DOORS. SAFETY GLAZING IS ALSO REQUIRED IN GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN 50 SQ. FT. OF CRAWL SPACE FLOOR BY CONNECTING TO A SERIES OF THOSE LOCATIONS DESCRIBED ABOVE THAT MEETS ALL OF THE **FOLLOWING CONDITIONS:**
- 1. EXPOSED AREA OF THE INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
 - 2. EXPOSED BOTTOM EDGE LESS THAT 18" ABOVE FLOOR 3. EXPOSED TOP EDGE GREATER THAT 36" ABOVE FLOOR, AND

 - 4. ONE ARE MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE PLANE OF THE GLAZING.
- 13. GRADE AT EXTERIOR TO BE 8" MINIMUM BELOW TOP OF FOUNDATION WALL
- 14. GARAGE: WALLS AND CEILING TO BE 5/8" TYPE X GWB. DOORS TO GARAGE FROM RESIDENCE TO BE SOLID WOOD NOT LESS THAN 1 3/8" LESS THAN 30 SQ. FT. THE VERTICAL HEIGHT SHALL BE MEASURED IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20-MINUTE FIRE-RATED DOORS, EQUIPPED WITH A SELF CLOSING DEVICE. FLOOR TO BE APPROVED NON-COMBUSTIBLE MATERIAL. PENETRATIONS IN WALL SEPARATING THE GARAGE FROM THE RESIDENCE SHALL BE PROTECTED PER **SECTION R302.11.**

- 1. DRAWINGS AND DESIGNS MAY NOT BE REPRODUCED, COPIED, OR 15. STAIRS: ENCLOSED SPACES UNDER STAIRS HALL HAVE 1/2" MIN. GWB AT ALL SURFACES. STAIRS SHALL NOT BE LESS THAN 36" WIDE. HANDRAILS SHALL NOT PROJECT INTO EITHER SIDE BY MORE THAN 4 1/2". HEAD HEIGHT NOT LESS THAN 6'-8". STAIRS SHALL HAVE LANDINGS TOP AND BOTTOM NOT LESS THAN THE WIDTH OF THE STAIR IN THE DIRECTION OF TRAVEL. RISERS SHALL NOT EXCEED 7 SHOWN FOR CLARITY. CONTACT DESIGN PROFESSIONAL OF RECORD 3/4" AND TREADS SHALL NOT BE LESS THAN 10" IN DEPTH. HANDRAILS SHALL BE 34"-36" ABOVE THE STAIR MEASURED FROM THE NOSING. GRASPABLE PORTIONS OF CIRCULAR HANDRAILS SHALL NOT BE LESS THAN 1 1/4" NOR GREATER THAN 2". HANDRAILS SHALL BE CONTINUOUS AND TERMINATE INTO A NEWEL OR SAFETY TERMINAL
 - 16. VENTILATION: HABITABLE ROOMS SHALL HAVE NATURAL VENTILATION THROUGH WINDOWS NOT LESS THAN 4% OF THE FLOOR AREA BEING SERVED. WINDOW AREA IN HABITABLE ROOMS SHALL NOT BE LESS THAN 8% OF THE FLOOR AREA BEING SERVED. BATHROOMS MUST HAVE 3 SQ. FT. MIN. OF GLAZING AREA, HALF OF WHICH MUST BE OPERABLE OR AN EXHAUST FAN MUST BE PROVIDED IN ACCORDANCE WITH M1507.
 - 17. MEANS OF EGRESS: EVERY RESIDENCE SHALL HAVE AT LEAST ONE EGRESS DOOR WHICH IS SIDE SWINGING WITH A CLEAR WIDTH OF 32" MIN. THERE SHALL BE A LANDING ON EITHER SIDE OF THE DOOR NOT LESS THAN 36" MEASURED IN THE DIRECTION OF TRAVEL WITH A WIDTH NOT LESS THAN THE DOOR BEING SERVED. DOORS SHALL BE READILY OPENABLE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE.
 - 18. EMERGENCY ESCAPE AND RESCUE OPENINGS: EVERY SLEEPING ROOM SHALL HAVE ONE OPERABLE ESCAPE OPENING. NET OPENING NOT LESS THAN 5.7 SQ. FT. NOT MORE THAN 44" OFF THE FLOOR. CLEAR HEIGHT 24" MIN., CLEAR WIDTH 20" MIN.
 - 17. GUARDS: GUARDS SHALL BE LOCATED ALONG OPEN SIDES OF WALKING SURFACES AND STAIRS THAT ARE MORE THAN 30" ABOVE AN ADJACENT FLOOR. NOT LESS THAN 42" IN HEIGHT. OPENINGS IN GUARDS SHALL NOT ALLOW THE PASSAGE OF A 4" SPHERE. OPENINGS IN GUARDS AT STAIRS SHALL NOT ALLOW PASSAGE OF 4 3/8" SPHERE AND A 6" SPHERE AT THE TRIANGLE FORMED BY THE
 - 18. SMOKE ALARMS: SMOKE ALARMS SHALL BE INSTALLED IN EVERY SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA AND ON EACH ADDITIONAL STORY. DEVICES SHALL BE INTERCONNECTED SO THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL. SMOKE ALARMS SOURCE AND HAVE A BATTERY BACKUP.
 - 19. CARBON MONOXIDE ALARMS: CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS WITH FUEL-FIRED APPLIANCES AND DWELLINGS WITH AN ATTACHED GARAGE. ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SLEEPING AREA, AND INSIDE BEDROOMS THAT CONTAIN GAS FIRED APPLIANCES. ALARMS SHALL RECEIVE POWER FROM THE BUILDINGS PRIMARY POWER SOURCE AND HAVE A BATTERY BACKUP.
- 20. RADON MITIGATION FOR UNVENTED CRAWL SPACES: EXPOSED EARTH TO BE COVERED WITH A CONTINUOUS CLASS I VAPOR RETARDER. JOINTS SHALL OVERLAP BY 6" MIN. AND SHALL BE SEALED WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN INCHES UP THE STEM WALL AND SHALL BE ATTACHED AND SEALED TO THE STEM WALL OR INSULATION. A CONTINUOUSLY OPERATED EXHAUST FAN SHALL PROVIDE 1 CUBIC FOOT PER MINUTE FOR EACH PERFORATED PIPES INSTALLED UNDER THE VAPOR RETARDER IN 4" OF GRAVEL.
 - 21. CRAWL SPACE ACCESS: ACCESS SHALL BE PROVIDED TO ALL UNDER-FLOOR SPACES. ACCESS SHALL BE A MINIMUM OF 18" X 24".
 - 22. ROOF VENTILATION: ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES SHALL HAVE CROSS VENTILATION BY VENTILATION OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. MINIMUM VENT AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE.
 - 23. ATTIC ACCESS BUILDINGS WITH COMBUSTIBLE CEILING OR ROOF CONSTRUCTION SHALL HAVE AN ATTIC ACCESS OPENING TO AREAS WITH A VERTICAL HEIGHT GREATER THAN 30" OVER AN AREA NOT FROM THE TOP OF THE CEILING MEMBERS TO THE UNDERSIDE OF THE ROOF FRAMING MEMBERS. THE ROUGH FRAMED OPENING SHALL NOT BE LESS THAT 22" X 30". WHERE THE ACCESS IS LOCATED IN A CEILING, MINIMUM HEADROOM IN THE ATTIC SHALL BE 30".
 - 24. HINGE SIDE OF DOOR SHALL BE LOCATED 6" TO INSIDE CORNER OF INTERSECTING WALLS UNLESS SPECIFICALLY NOTED OTHERWISE

GENERAL SCOPE OF WORK

INFRASTRUCTURE

- A. EVALUATE POWER SERVICE SIZE FOR CURRENT AND ANTICIPATED LOADS. MAKE RECOMMENDATION FOR INCREASED CAPACITY AND/OR REROUTING/ UNDERGROUNDING.
- B. PROVIDE NEW 4" WATER LINE FOR FIRE SUPPRESSION SYSTEM. VERIFY TAP FOR DOMESTIC WATER AND ROUTING TO BUILDING FROM 4TH STREET. MAKE RECOMMENDATION FOR COMBINING WORK WITH INFRASTRUCTURE NEEDED FOR FUTURE PROJECTS. SEE CIVIL ENGINEERING.
- C. ALL UNITS TO HAVE DEDICATED ELECTRIC METERS. MAKE RECOMMENDATION FOR METER LOCATION AND REQUIRED MOUNTING PAD.
- D. ALL UNITS TO HAVE DEDICATED HVAC SYSTEMS. MAKE RECOMMENDATION FOR EQUIPMENT LOCATION AND REQUIRED MOUNTING PAD.

MATERIAL QUALITY

- A. MATERIALS SELECTED SHOULD BE GOOD TO BETTER QUALITY TO BE COST EFFECTIVE AND BALANCE COST CONSIDERATIONS WITH DURABILITY AND FUNCTIONALITY.
- B. MATERIALS IN PUBLIC AREAS AND MATERIALS SELECTED TO MEET CODE COMPLIANCE PROVISIONS, SHALL BE OF A QUALITY AS APPROPRIATE.

REPAIR AND REPLACE - BUILDING

- A. ALL WINDOWS TO BE REPLACED. PREFERENCE FOR VINYL. MATCH SIZE, TYPE, OPERATION, TRIM, CASING AND MUNTIN PATTERN U.O.N ON THE WINDOW SCHEDULE. WINDOW OPENINGS MAY BE MADE SMALLER IN ORDER TO AVOID CUSTOM WINDOWS. USE STANDARD SIZES AND INFILL AS REQUIRED. REVIEW ALL WINDOWS / CONDITIONS WITH ARCHITECT.
- B. RE-USE DOORS AS MUCH AS POSSIBLE BY RELOCATING AND REPAIRING REPLACE OR ADD DOORS TO BE FIRE RATED OR FOR ACCESSIBILITY AS NOTED ON THE DOOR SCHEDULE. REVIEW ALL DOOR / CONDITIONS WITH ARCHITECT
- C. REPLACE ROOFING ATALL PITCHED ROOFS INCLUDING ALL SUBSTRATES TO TOP OF SHEATHING OR DECKING. NOTIFY ARCHITECT / ENGINEER FOLLOWING DEMOLITION FOR FIELD INSPECTION. PROVIDE STEEL ROOFING SAMPLES TO ARCHITECT FOR APPROVAL OF COLOR AND PROFILE.
- D. INSPECT EXISTING EXTERIOR SIDING, FACIA, TRIM, DECK SURFACES, POSTS KNEE BRACES, PAINT ETC. AND MAKE RECOMMENDATIONS FOR REPAIR/ REPLACE. PROVIDE SAMPLES TO ARCHITECT FOR APPROVAL.
- E. REMOVE EXISTING TILE AND OTHER FLOORING ON TOP OF SOLID WOOD FLOORING ON THE FIRST FLOOR. EVALUATE FEASIBILITY OF RETAINING WOOD FLOORING TO FACILITATE REQUIRED MAXIMUM 3/4" THRESHOLDS. MAKE RECOMMENDATION FOR SEALING OF WOOD FLOOR OR NEW FLOORING IF REQUIRED. PROVIDE SAMPLES TO ARCHITECT FOR APPROVAL.
- F. REMOVE EXISTING CARPET ON TOP OF SOLID WOOD FLOORING ON THE SECOND AND THIRD FLOORS. EVALUATE FEASIBILITY OF RETAINING WOOD FLOORING. MAKE RECOMMENDATION FOR SEALING OF WOOD FLOOR OR NEW FLOORING IF REQUIRED. PROVIDE SAMPLES TO ARCHITECT FOR APPROVAL.
- G. RETAIN TILE AND PORCELAIN TILE IN EXISTING BATHROOMS ON THE SECOND AND THIRD FLOORS. INSPECT, REPAIR AND REPLACE ONLY AS NECESSARY. REVIEW ALL CONDITIONS WITH ARCHITECT.
- H. INSPECT EXISTING INTERIOR TRIM, CASING, WALL FINISH AND PAINT ETC. AND MAKE RECOMMENDATIONS FOR REPAIR. REPLACE ITEMS AS REQUIRED. ALL REPAIRED/REPLACED ITEMS TO MATCH EXISTING. PROVIDE SAMPLES TO ARCHITECT FOR APPROVAL. PAINT COLOR TO MATCH BENJAMIN MOORE CHANTILLY LACE.
- I. INSPECT EXISTING PLUMBING FIXTURES, TUBS AND SINKS ETC. AND MAKE RECOMMENDATIONS FOR REPAIR/REPLACE. REPLACE ONLY IF NECESSARY FOR PROPER FUNCTION. RE-USE FROM OTHER LOCATIONS WITHIN THE BUILDING. PROVIDE CUT SHEETS TO ARCHITECT FOR APPROVAL.
- J. INSPECT EXISTING ELECTRICAL OUTLET AND LIGHTING LOCATIONS, AND QUANTITY, TO MEET THE IEC AND MAKE RECOMMENDATIONS FOR NEW OUTLET AND LIGHTING LOCATIONS. DETERMINE ROUTING TO NEW OUTLET, FIXTURE, HVAC, AND APPLIANCE LOCATIONS.
- K. REMOVE UNNECESSARY AND ABANDONED ITEMS ON EXTERIOR OF BUILDING: HOSE RACKS, AIR INTAKE, CONDUIT, J-BOXES AND WOOD STAIR AT SOUTH ETC.
- L. INSPECT IRRIGATION SYTEM AND CONTROLS AND MAKE RECOMMENDATIONS FOR REPAIR/REPLACE OR ALTERATION TO ACCOMMODATE REMOVED PLANTINGS

- M. PROVIDE ASBESTOS AND HAZARDOUS MATERIALS TESTING. ESTIMATE WORK NEEDED TO MITIGATE IF NECESSARY. NOTIFY ARCHITECT / ENGINEER FOLLOWING DEMOLITION FOR FIELD INSPECTION.
- N. INSPECT FIREPLACES, FLUES AND CHASES. MAKE RECOMMENDATION TO SEAL FIREBOX OPENING AND RETAIN MANTLE, HEARTH AND SURROUND.
- O. REMOVE WINDOWS IN BASEMENT AND INFILL OPENINGS. MAKE RECOMMENDATION TO INSULATE BASEMENT OR PROVIDE HEAT TO PREVENT WATER LINE FREEZING.
- P. INSPECT EXISTING EXTERIOR LIGHT FIXTURES AND REPAIR OR REPLACE WITH DARK SKY COMPLIANT FIXTURES IF NECESSARY. PROVIDE NEW FIXTURES FOR NEW NEW ENTRANCE DOOR AT STAIR ENCLOSURE
- Q. INSPECT EXISTING ROOFING SYSTEM AT FLAT ROOF OVER PORCH. MAKE RECOMMENDATION FOR REPAIR/REPLACE.

ROUGH ORDER OF MAGNITUDE ESTIMATING

- A. ESTIMATE COST OF FIELD FABRICATING OR OUTSOURCING ALTERNATE OPEN EXTERIOR STEEL STAIR AND ROOF. ARCHITECT TO COORDINATE ENGINEERING OF STAIR ROOF DESIGN WITH CONTRACTOR OR SUPPLIER. SEE QUOTE FROM ERECTASTEP.COM
- B. ESTIMATE COST OF FIELD FABRICATION VERSUS OUTSOURCING ACCESSIBLE AND TYPE B SHOWERS, VANITIES AND KITCHEN CABINETS. ARCHITECT TO COORDINATE DESIGN WITH CONTRACTOR OR SUPPLIER. PROVIDE SHOP DRAWINGS TO ARCHITECT FOR APPROVAL. SEE (E.G.) BARRIERFREE.COM AND FACTORYPLAZA.COM OR KITCHENLAV.COM
- C. ESTIMATE / DESIGN-BUILD FOR FIRE AND CARBON MONOXIDE ALARM SYSTEM PER IBC AND DETERMINE NEED FOR MANUAL PULL STATIONS, STROBES. FIRE SUPPRESSION MONITORING ETC. PROVIDE SHOP DRAWINGS TO ARCHITECT FOR APPROVAL.
- D. ESTIMATE / DESIGN-BUILD HVAC SYSTEM TO INCLUDE HEATING, REQUIRED VENTING TO KITCHENS AND BATHROOMS, EXTERIOR MOUNTING LOCATIONS AND PADS ETC. DETERMINE ROUTING TO ALL ROOMS AND COMMON AREAS OR PLACEMENT IN ALL ROOMS AND SPACES AS REQUIRED. CONSIDER AGE OF BUILDING AND NEED FOR MINIMAL IMPACT TO STRUCTURE. ALL UNITS SHALL HAVE INDEPENDENT CONTROLS AND EQUIPMENT TO FACILITATE SEPARATE METERING.
- E. DESIGN-BUILD FIRE SUPPRESSION SYSTEM FOR ALL LEVELS AND THE BASEMENT. CONFIRM NEED AT EXTERIOR ROOFS, NEW STAIR, EXISTING PORCHES ETC. SEE QUOTE FROM MOUNTAIN FIRE SPRINKLERS FOR NFPA 13R SYSTEM.
- F. DESIGN-BUILD HOT WATER HEATING SYSTEM. TANKLESS HOT WATER HEATERS IN EVERY UNIT PREFERRED. DETERMINE ROUTING TO KITCHENS. BATHROOMS AND WASHER-DRYER LOCATIONS ETC.

CONTRACTOR OPTIONS

- A. VERIFY AREA NEEDED FOR RISER AREA IN RISER ROOM. EXCESS SPACE COULD BE UTILIZED FOR OTHER ELECTRICAL OR HVAC EQUIPMENT OR WATER MAIN ROUTING ETC.
- B. VERIFY NEED FOR ADDED INSULATION IN ATTIC TO PROTECT FIRE SUPPRESSION SYSTEM. COORDINATE LOCATIONS AND QUANTITY WITH ARCHITECT AND ENGINEER.

REPAIR AND DEMOLITION - SITE

- A. SEE CIVIL ENGINEERING TO DETERMINE DEMOLITION NEEDED FOR FIRE TRUCK ACCESS AT UNIT 7: TREES, FOUNDATION TO SOUTH OF BUILDING, WOOD DECK ETC.
- B. SEE CIVIL ENGINEERING TO DETERMINE DEMOLITION NEEDED SOUTH OF UNITS 1-6: ARBOR, TENNIS COURT VIEWING PLATFORM, TREES AND SHRUBS, ETC.

AY EC J.H.H.

Date: 4/15/2024



at Sta O O

Issue:

NS. THESE PLANS ARE NOT TSOEVER. NOR ARE THE BE ASSIGNED TO ANY THIS Y WITHOUT FIRST OB XPRESS WRITTEN PERMI D CONSENT FROM JAY O ARCHITECTURE PC.

■ 1" ACTUAL IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY THIS DRAWING HAS BEEN ENLARGED OF REDUCED, AFFECTING AL LABELED SCALES

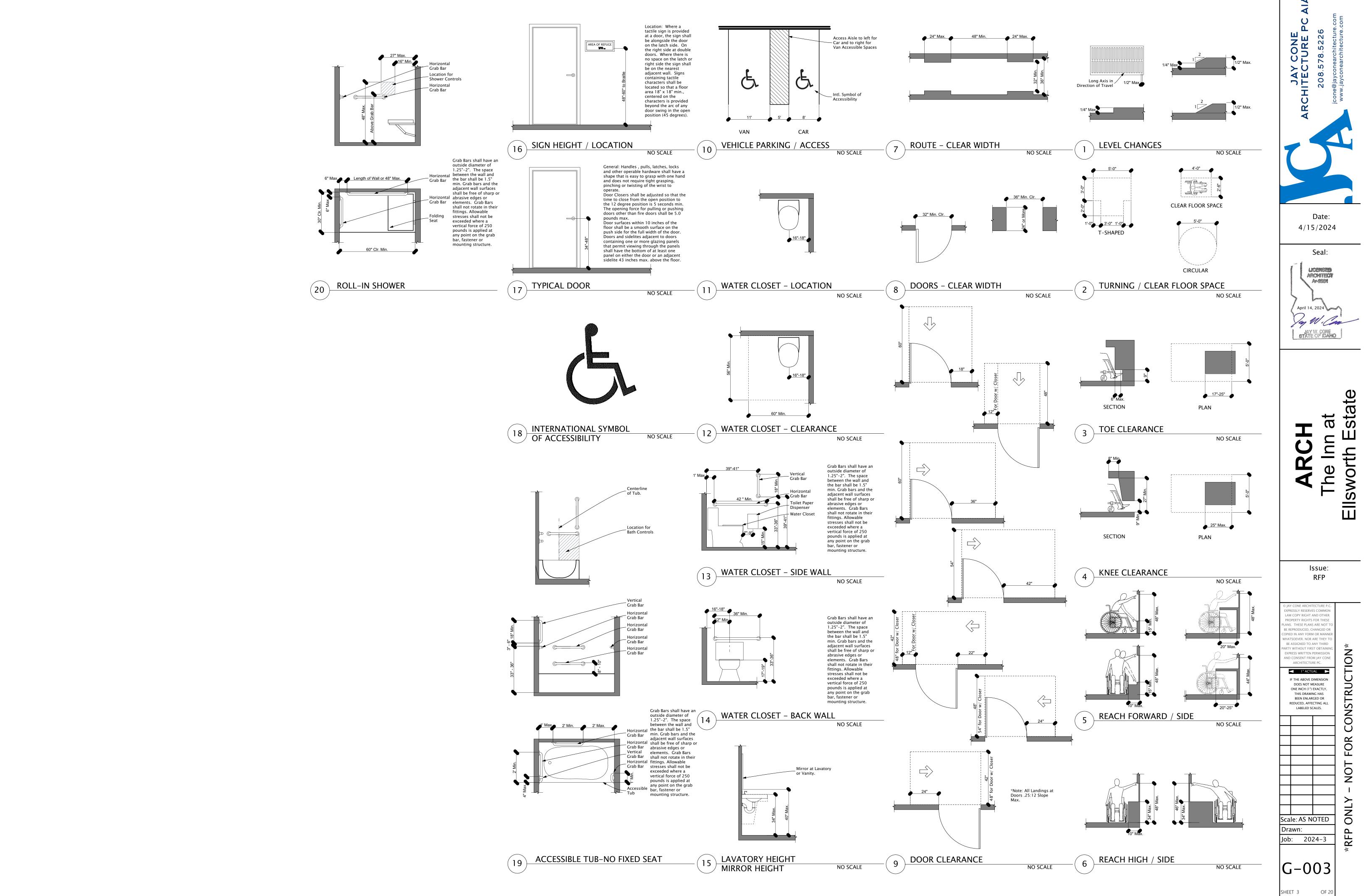
0

Scale: AS NOTED Drawn:

G-002

SHEET 2

Job: 2024–3



FIRST FLOOR CODE COMPLIANCE

	SIGN SCHEDULE								
MK	TYPE	MANUF.	MODEL#	FINISH	COLOR	NOTES			
S1	ILLUMINATED EXIT	VERIFY	VERIFY		GREEN/WHITE	VERIFY POWER AND BACKUP POWER REQUIREMENTS OR SELF-LUMINOUS			
S2	EXIT-BRAILLE	SETON	45068		GREY	WWW.SETON.COM			
S5	ACCESSIBLE PARKING	SETON	45717		BLUE	WWW.SETON.COM			
S6	VANACCESSIBLE	SETON	35754		BLUE	WWW.SETON.COM			
S7	FIRE EXT.	SETON	8300A		RED/WHITE	WWW.SETON.COM			
S9	ACCESSIBLE	SETON	45059		BLUE	WWW.SETON.COM			

1 See Reference Details for mounting heights and locations of accessible signs.

2 See Code Compliance plans for sign locations. 3 Provide order list to Architect for review.

4 Exact sign height, orientation and placemement to be verified by Arch. and/or Fire Chief on-site. 5 Exterior advertising and monument sign to be provided and designed by Yesco Sign as reviewed and approved by Owner. 6 18" square clear floor area to be provided in front of and centered on all braille signs.

CHANGE OF OCCUPANCY

DEFINITION -CHANGE OF OCCUPANCY. INCLUDES A CHANGE FROM ONE GROUP TO ANOTHER GROUP WITHIN AN OCCUPANCY CLASSIFICATION

1001.2.2 CHANGE TO ANOTHER GROUP WITHIN AN OCCUPANCY CLASSIFICATIONI SHALL BE CONSIDERED A CHANGE OF OCCUPANCY. R-1 HOTEL TRANSIENT TO R-2 APARTMENT HOUSES

1007.3 ELECTRICAL SERVICE SHALL BE UPGRADED TO MEET NFPA 70 FOR THE NEW OCCUPANCY

1007.4 THE NUMBER OF ELECTRICAL OUTLETS SHALL BE UPGRADED TO MEET NFPA 70 FOR THE NEW OCCUPANCY 1008.1 NEW KITCHEN EXHAUST REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE IMC

1010.1 LIGHT AND VENTILATION SHALL COMPLY WITH THE IBC IBC 1204.1 EVERY HABITABLE SPACE SHALL BE PROVIDED WITH NATURAL LIGHT

IBC 1204.2 GLAZING SHALL BE 8% OF THE NET FLOOR AREA OF THE ROOM

IBC 1204.3 LIGHT SHALL BE PROVIDED NOT LESS THAN 10 FOOTCANDLES AT 30" ABOVE THE FLOOR IBC 1202.2.1 ATTIC VENTS SHALL BE PROVIDED. THE VENT AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA

IBC 1202.2.2 OPENINGS TO ATICS FOR VENTILATION SHALL BE PROTECTED BY SCREENS WITH A MAXIMUM OPENING OF 1/4 INCH

IBC 1202.5 NATURAL VENTILATION SHALL BE PROVIDED THROUGH WINDOWS. OCCUPANTS SHALL HAVE READY ACCESS TO THE OPERATING MECHANISM

IBC 1202.5.1 OPENABLE AREA SHALL NOT BE LESS THAN 4% OF THE FLOOR AREA BEING VENTILATED

IBC 1205.2 AND 1205.3 YARDS OR COURTS SHALL NOT BE LESS THAN 3 FEET

IBC 1202.5.2.1 BATHROOMS SHALL BE MECHANICALLY VENTED PER THE IMC

1011.1.1.1 REQUIREMENTS OF CHAPTER 9 FOR THE MOST RESTRICTIVE OCCUPANCY SHALL APPLY. 1011.3 INTERIOR FINISH SHALL MEET THE REQUIREMENTS OF THE IBC

1011.4.2 WHERE A CHANGE OF OCCUPANCY IS MADE TO AN EQUAL HAZARD CATEGORY NEW MEANS OF EGRESS SHALL COMPLY WITH CHAPTER 10 OF THE IBC

1011.4.3 EGRESS CAPACITY SHALL MEET REQUIREMENTS OF THE IBC FOR THE NEW OCCUPANCY

1011.5.2 WHERE A CHANGE OF OCCUPANCY IS MADE TO AN EQUAL HAZARD CATEGORY THE HEIGHT AND AREA OF THE EXISTING BUILDING SHALL BE DEEMED ACCEPTABLE

OPENINGS SHALL BE ACCEPTED.

1101.1 AN ADDITION TO AN EXISTING BUILDING SHALL COMPLY WITH THE IBC FOR NEW CONSTRUCTION WITHOUT REQUIRING THE EXISTING BUILDING TO COMPLY EXCEPT AS REQUIRED BY THIS CHAPTER. WHERE AN ADDITION IMPACTS THE EXISTING BUILDING THAT PORTION SHALL COMPLY WITH THE IBC

2018 IBC (AS APPLICABLE FOR THE STAIR ENCLOSURE)

1011.2 WIDTH OF STAIRWAYS SHALL NOT BE LESS THAN 44" EXCEPT FOR STAIRWAYS SERVING AN OCCUPANT LOAD OF 50 OR LESS MAY BE 36' MINIMUM.

1011.3 STAIRWAYS SHALL HAVE A MINIMUM HEAD HEIGHT OF 6'-8"

1011.5.2 MAXIMUM RISER HIEGHT OF 7", MINIMUM TREAD DEPTH OF 11" 1011.5.5.1 NOSINGS SHALL PROJECT NO MORE THAN 1.25" BEYOND THE TREAD BELOW

1011.5.3 RISERS SHALL BE SOLID

1011.6 THERE SHALL BE A LANIDNG AT THE TOP AND BOTTOM OF STAIRS NOT LESS THAN THE WIDTH OF THE STAIRWAY SERVED AND 48" IN THE DIRECTION OF TRAVEL. DOORS SHALL NOT REDUCE THE REQUIRED WIDTH BY MORE THAN ONE 905.3 MEANS OF EGRESS SHALL BE PROVIDED WITH SIGNAGE ON ALL FLOORS

1014.2 HANDRAILS SHALL BE 34" TO 38" MAXIMUM ABOVE NOSINGS

1014.3.1 HANDRAILS SHALL HAVE A GRASPABLE DIAMETER BETWEEN 1.25' AND 2"

1014.6 HANDRAILS SHALL BE CONTINOUS OR RETURN TO A WALL OR GUARD OR WALKING SURFACE. WHERE NOT

1014.7 CLEARANCE BETWEEN HANDRAILS AND WALLS SHALL BE 1.5"

CONTINOUS RAILS SHALL EXTEND 12' PAST THE TOP OR BOTTOM RISER.

1015.2 GUARDS SHALL BE LOCATED ALONG SURFACES GREATER THAN 30 ABOVE ADJACENT SURFACES 1015.3 GUARDS SHALL NOT BE LESS THAN 42" IN HEIGHT

1015 4 GUARDS SHALL HAVE OPENINGS NO GREATER THAN 4" AND NOT ALLOW A 4" SPHERE TO PASS THROUGH

1023.1 INTERIOR EXIT STAIRWAYS SHALL BE ENCLOSED AND LEAD TO THE EXTERIOR OF THE BUILDING 1023.2 INTERIOR EXIT STAIRWAYS SERVING LESS THAN 4 STORIES SHALL BE ONE-HOUR RATED

1023.4 OPENINGS PER 716 AND LIMITED TO THOSE REQUIRED FOR EXIT ACCESS

1023.7 STAIR ENCLOSURE EXTERIOR WALLS SHALL COMPLY WITH 705. IF WALLS OF THE ENCLOSURE ARE NON-RATED ADJACENT WALLS LESS THAN 180 DEGREES MUST BE ONE-HOUR RATED

705.5 EXTERIOR WALLS SHALL BE RATED PER 602

602 NO RATING REQUIRED FOR EXTERIOR WALLS WITH A FIRE SEPARATION DISTANCE GREATER THAN 10' FOR TYPE V CONSTRUCTION

(EXTERIOR WALLS ARE NOT REQUIRED TO BE RATED HOWEVER THEY WILL BE CONSTRUCTED AS ONE-HOUR TO AVOID FIRE RATINGS OF ADJACENT WALLS PER 1023.7)

705 EXTERIOR WALLS WITH A FIRE SEPARATION DISTANCE GREATER THAN 10' FEET SHALL BE RATED FOR FIRE EXPOSURE FROM THE INSIDE.

(705.8 WINDOWS MAY BE ALLOWED IF DESIRED)

722.6 RATINGS OF WOOD ASSEMBLIES MAYBE ESTABLISHED BY CALCULATION

1107.4 ONE ACCESSIBLE ENTRANCE SHALL CONNECT UNIT ENTRANCES

722.6.1 CALCULATED ASSEMBLIES SHAL BE LIMITED TO NO MORE THAN ONE-HOUR 722.6.2.1 CALCULATED RATING FOR WOOD FRAMED IS THE SUM OF THE TIME ASSIGNED TO THE MEMBRANE ON THE FIRE

EXPOSED SIDE AND THE FRAMING MEMBERS AND THE INSULATION TABLE 722.6.2(1) AND (2) 5/8 INCH TYPE X GYPSUM WALLBOARD = 40 MINUTES. WOOD STUDS AT 16' O.C. = 20 MINUTES.

2018 IBC (AS APPLICABLE FOR COMPLIANCE WITH CHAPTER 11)

1104.1 ONE ACCESSIBLE ROUTE SHALL BE PROVIDED FROM PARKING SPACES TO THE BUILDING ENTRANCE 1104.3.1 WORK AREAS LESS THAN 1,000 SQ. FT. ARE NOT REQUIRED TO BE ACCESSIBLE 1106.2 I GROUP R-2 AT LEAST ONE ACCESSIBLE SPACE SHALL BE PROVIDED. ONE ACCESSIBLE SPACE SHALL BE

PROVIDED FOR EACH ACCESSIBLE UNIT

1106.6 ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST POSSIBLE ROUTE 1107.3 SPACES AVAILABLE TO RESIDENTS SERVING ACCESSIBLE OR TYPE B UNITS SHALL BE ACCESSIBLE

TABLE 1107.6.1.1 FOR BUILDINGS WITH 1-25 UNITS ONE ACCESSIBLE UNIT IS REQUIRED. NO ROLL-IN SHOWER IS

1107.6.2.2.2 WHERE THERE ARE FOUR OR MORE UNITS IN A SINGLE STRUCTURE ALL SHALL BE TYPE B 1107.7.1 WHERE THERE IS NO ELEVATOR SERVICE ONLY THE DWELLING UNITS LOCATED ON THE GROUND FLOOR ARE

1107.1.1 AT LEAST ONE STORY CONTAINING DWELLING UNITS SHALL BE PROVIDED WITH AN ACESIBLE ENTRANCE AND ALL UNITS ON THAT STORY SHALL BE TYPE B

2018 IBC (AS APPLICABLE FOR THE ALTERNATE EXTERIOR STAIR)

1027.3 EXTERIOR EXIT STAIRWAYS SHALL BE OPEN ON AT LEAST ONE SIDE, EXCEPT FOR COLUMNS AND GUARDS ETC. MAXIMUM GUARD HEIGHT OF 42"

1027.4 OPEN AREAS ADJOINING STAIRWAYS SHALL BE YARDS OR COURTS

(1027.5 EXTERIOR STAIRS SHALL HAVE A MINIMUM FIRE SEPARATION DISTANCE OF 10 FEET TO OTHER PORTIONS OF THE BUILDING. THIS PROVISIONS IS CONSIDERED TO BE NON-APPLICABLE PER IEBC 1101.1) (1027.6 EXTERIOR STAIRS SHALL BE SEPARATED FROM THE INTERIOR OF THE BUILDING AND OPENINGS LIMITED TO THOSE NECESSARY FOR EGRESS FROM OCCUPIED SPACES. WHERE THE STAIR IS EXPOSED TO OTHER AREAS OF THE

BUILDING AT LESS THAN 180 DEGREES THE WALL THE EXTERIOR WALL SHALL BE 1 HOUR RATED WITHIN 10 FEET. OPENINGS SHALL BE ¾ HOUR RATED. THIS PROVISIONS IS CONSIDERED TO BE NON-APPLICABLE PER IEBC 1101.1) 1028.1 EXITS SHALL DISCHARGE AT GRADE OR PROVIDE A DIRECT PATH OF EGRESS TO GRADE

2018 IEBC (INDENTED IBC OR IFC REFERENCE)

IBC 101.4.7 THE IEBC SHALL APPLY TO EXISTING BUILDINGS

PROVISIONS FOR ALL COMPLIANCE METHODS

301.5 ACCESSIBILITY REQUIREMENTS SHALL COMPLY WITH 2009 ANSI 117 302.4 EXISTING MATERIALS MAY REMAIN

302.6 OCCUPANCY SHALL BE DETERMINED BY THE IBC

IBC 310.2 R-2 APARTMENT HOUSES

IBC 304.1 B ADMINISTRATION IBC TABLE 1004.5 BUISNESS 150 GROSS RESIDENTIAL 200 GROSS

DEFINITION -CHANGE OF OCCUPANCY. INCLUDES A CHANGE FROM ONE GROUP TO ANOTHER GROUP WITHIN AN OCCUPANCY CLASSIFICATION

305.4 ONE ACCESSIBLE ENTRANCE, ROUTE, PARKING AND SIGNAGE.

305.5 PROVISIONS FOR NEW CONSTRUCTION SHALL APPLY TO ADDITIONS 305.6 ALTERATIONS SHALL COMPLY WITH IBC CHAPTER 11.

305.7 ACCESSIBILITY UPGRADES TO ALTERED AREAS SHALL NOT TO EXCEED A COST OF 20% OF THE ALTERATIONS AFFECTING THE AREA OF PRIMARY FUNCTION.

305.8.1.4 THRESHOLDS SHALL HAVE A MAXIMUM HEIGHT OF 3/4"

CLASSIFICATION OF WORK

ALTERATIONS LEVEL 3

604.1 LEVEL 3 ALTERATIONS ARE THOSE WHERE THE WORK AREA EXCEEDS 50% 604.2 LEVEL 3 ALTERATIONS SHALL COMPLY WITH CHAPTERS 7, 8 AND 9. 605.2 CHANGES OF OCCUPANCY SHALL COMPLY WITH CHAPTER 10

901.2 SHALL MEET 802, 803, 804, 805 WHETHER OR NOT EXITS ARE SHARED BY MORE THAN ONE TENANT 902.2 FURNACE ROOMS WITH FIRE SPRINKLERS NEED NOT BE SEPARATED BY 1-HR CONSTRUCTION 1011.6.2 WHERE A CHANGE OF OCCUPANCY IS MADE TO AN EQUAL HAZARD CATEGORY EXISTING EXTERIOR WALLS AND (903.1 EXISTING STAIRWAYS THAT ARE PART OF A MEANS OF EGRESS SHALL BE ENCLOSED WITH ONE-HOUR RATED CONSTRUCTION. THIS WOULD BE VERY DIFFICULT SO A NEW EXTERIOR STAIR IS PROPOSED. THIS PROVISION REFERS TO 802.1 AND IS ASSUMED TO OVERRIDE ALL EXCEPTIONS CONTAINED THEREIN)

904.1 AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE PROVIDED PER SECTION 803.2.

904.2 FIRE ALARM AND DETECTION SHALL BE PROVIDED PER THE IBC

IBC 907.2.9.1 MANUAL FIRE ALARM BOXES NOT REQUIRED IN BUILDINGS EQUIPPED THROUGHOUT WITH AUTOMATIC FIRE SPRINKLERS. OCCUPANT NOTIFICATION MUST AUTOMATICALLY ACTIVATE UPON SPRINKLER

904.2.2 FIRE DETECTION SHALL BE REQURIED PER THE IBC

IBC 907.2.10.2 SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM AND OUSTISDE OF EACH SLEEPING ROOM AND ON EVERY STORY INCLUDING BASEMENTS

905.2 MEANS OF EGRESS SHALL BE PROVIDED WITH LIGHTING PER THE IBC IBC 1008.2 MEANS OF EGRESS SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING IS OCCUPIED

IBC 1008.2.1 ILLUMINATION SHALL NOT BE LESS THAN 1 FOOTCANDLE AT THE WALKING LINE

IBC 1008.2.3 ILLUMINATION MUST BE PROVIDED TO THE PUBLIC WAY.

IBC 1008.3 POWER FOR ILLUMINATION SHALL BE PROVIDED BY THE BUILDING POWER

IBC 1013.1 EXITS AND EXIT ACCESS DOORS SHALL BE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE

FROM ANY DIRECTION OF EGRESS TRAVEL IBC 1013.3 EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED. TACTILE SIGNS REQUIRED BY

SECTION 1011.4 NEED NOT BE PROVIDED WITH ILLUMINATION. IBC 1013.4 A SIGN STATING EXIT IN RAISED CHARACTERS AND BRAILLE AND COMPLYING WITH ICC A117.1 SHALL BE PROVIDED ADJACENT TO EACH DOOR, AN EXIT STAIRWAY, AN EXIT RAMP, AN EXIT PASSAGEWAY AND THE EXIT

DISCHARGE. IBC 1013.5 SELF-LUMINOUS AND PHOTOLUMINESCENT EXIT SIGNS SHALL BE LISTED AND LABELED IN

ACCORDANCE WITH UL 924 AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND CHAPTER 27. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES.

907.1 NEW CONSTRUCTION SHALL COMPLY WITH THE IECC

ALTERATIONS LEVEL 1 (AS REQUIRED BY 604.2)

701.4 EMERGENCY ESCAPE AND RESCUE OPENINGS IBC 1030.1 REQUIRED IN R-2 OCCUPANCIES WITH ONLY ONE EXIT PER STORY

IBC 1030.1.1 SHALL BE OPENABLE WITHOUT A KEY OR SPECIAL KNOWLEDGE

IBC 1030.2 NET CLEAR OPENING OF 5.7 SQ. FT. IBC 1030.2.1 MINIMUM NET CLEAR HEIGHT SHALL BE 24 INCHES. NET CLEAR WIDTH SHALL BE 20 INCHES

IBC 1030.3 THE BOTTOM OF THE CLEAR OPENING SHALL NOT EXCEED 44 INCHES

702.4 WINDOW CONTROL DEVICES SHALL BE INSTALLED ON ALL OPERABLE WINDOWS WITH A SILL HEIGHT GREATER THAN 6 FEET ABOVE GRADE. THE WINDOW IN THE OPEN POSITION WITH THE CONTROL DEVICE SHALL NOT PERMIT A SPHERE 4 INCHES IN DIAMETER TO PASS THROUGH

705.3 ROOF REPLACEMENT SHALL INCLUDE THE REMOVAL OF ALL EXISTING LAYERS OF ROOF COVERING DOWN TO THE ROOF DECK.

ALTERATIONS LEVEL 2 (AS REQUIRED BY 604.2)

WITH SELF CLOSERS

801.3 NEW CONSTRUCTION, ELEMENTS, COMPONENTS, SYSTEMS, SPACES SHALL COMPLY WITH THE IBC. EXCEPT NEWLY CREATED CORRIDORS SHALL A MINIMUM CEILING HEIGHT OF 7 FEET 802.2.2 EXISTING INTERIOR VERTICAL SHAFTS SHALL BE ONE-HOUR RATED

IBC TABLE 722.6.2(1) 5/8 INCH GYPSUM WALL BOARD IS ASSIGNED A 30 MINUTE RATING- 2 LAYERS REQUIRED 802.4 NEW INTERIOR FINISH SHALL COMPLY WITH THE IBC

803.1.1 CORRIDOR RATINGS MAY BE REDUCED PER THE IBC FOR SPRINKLERED BUILDINGS.

IBC TABLE 1020.1 R OCCUPANCIES WITH FIRE SPRINKLERS .5 HOURS

IBC 722.6.1.1 CALCULATED FIRE RESISTANCE RATINGS SHALL BE LIMITED TO 1 HOUR. IBC TABLE 722.6.2(1) 5/8 INCH GYPSUM WALL BOARD IS ASSIGNED A 30 MINUTE RATING

803.2.2 OCCUPANCY GROUP R-2 SHALL BE PROVIDED WITH AUTOMATIC SPRINKLER PROTECTION THROUGHOUT. 803.4.1.6 A FIRE ALARM SHALL BE INSTALLED PER THE IFC

803.4.3 INDIVIDUAL DWELLING UNITS SHALL BE PROVIDED WITH SMOKE ALARMS PER THE IFC

IFC 1103.8 SINGLE AND MULTIPLE STATION SMOKE ALARMS SHALL BE INSTALLED IN R OCCUPANCIES. IFC 1103.8.2 WHEN THERE IS MORE THAN ONE SMOKE ALARM IN A DWELLING UNIT THEY ALL SHALL BE INTERCONNECTED

IFC 1103.8.3 POWER SHALL COME FROM THE BUILDING AND BACKUP POWER PROVIDED BY BATTERY

804.1 R OCCUPANCIES SHALL BE EQUIPPED WITH CARBON MONOXIDE ALARMS IFC 915.2.1 CARBON MONOXIDE DETECTORS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA 805.3.1.1 A SINGLE EXIT ACCESS IS ALLOWED ON STORIES WITH NO MORE THAN 4 UNITS. EXTERIOR EXIT STAIRWAYS ARE ALLOWED WHERE THE TRAVEL DISTANCE FROM THE UNIT DOOR TO THE EXIT ACCESS IS LESS THAN 20 FEET

805.4.2.1 DOORS SHALL SWING IN THE DIRECTION OF EXIT TRAVEL 805.4.3.1 ALL DOORS TO THE STAIRWAY OR EXIT DISCHARGE SHALL BE SELF CLOSING

805.4.4.1 ALL REQUIRED EXIT DOORS SHALL BE EQUIPPED WITH PANIC HARDWARE 80505.1 DOORS TO INDIVIDUAL UNITS SHALL BE 1 3/4" MINIMUM THICKNESS OR 20 MINUTE LISTED AND LABELED DOORS

20 J.F

A M

Date: 4/15/2024



Issue: RFP

AW COPY RIGHT AND OTHE ROPERTY RIGHTS FOR THESE NS. THESE PLANS ARE NOT REPRODUCED, CHANGED (TSOEVER. NOR ARE THE BE ASSIGNED TO ANY THIR Y WITHOUT FIRST OBTAI (PRESS WRITTEN PERMISS D CONSENT FROM JAY O ARCHITECTURE PC

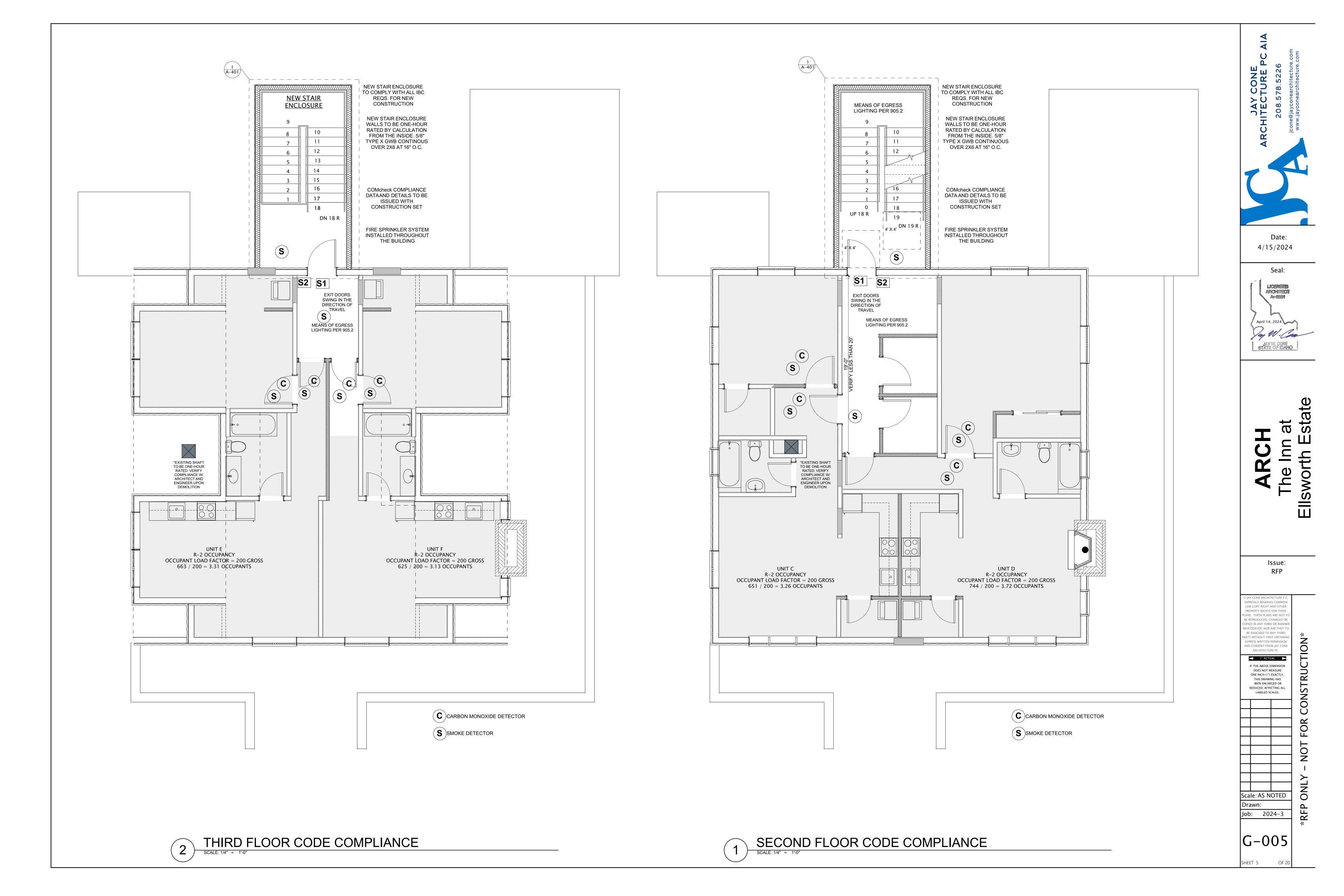
> ■ 1" ACTUAL IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY THIS DRAWING HAS BEEN ENLARGED OR REDUCED, AFFECTING AL LABELED SCALES.

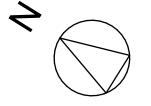
2024-3

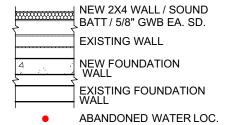
|G-004

SHEET 4

Scale: AS NOTED Drawn:







- A. ALL DIMENSIONS ARE SHOWN TO THE FACE OF WALL FRAMING UNLESS SPECIFICALLY NOTED OTHERWISE
- B. HINGE SIDE OF DOOR SHALL BE LOCATED 6" TO INSIDE CORNER OF INTERSECTING WALLS FOR NEW DOORS UNLESS SPECIFICALLY NOTED OTHERWISE
- C. INFILL WALLS WITH FRAMING AS REQUIRED, INSULATION AND REPAIR / REPLACE SIDING OR INTERIOR WALL FINISH TO MATCH EXISTING.
- D. SEE CODE COMPLIANCE PLAN FOR CODE SPECIFIC LIGHTING AND OTHER REQUIREMENTS.
- E. SEE ACCESSIBILITY DETAILS SHEET FOR SPECIFIC CRITERIA FOR REQUIRED ACCESSIBLE THRESHOLDS, REACH RANGES FOR REQUIRED ACCESSIBLE CONTROLS ETC.

FLOOR PLAN REFERENCE NOTES

1 REMOVE DOOR, INFILL OPENING

2 SMALLER WINDOW OPENING

3 REVISED OR RELOCATED OPENING WITH NEW DOOR.

4 VERIFY WALL AS EXTERIOR. ADD INSULATION, SIDING ETC. AS REQUIRED 5 EXPOSE CHASE DURING DEMOLITION FOR VERIFICATION OF CODE COMPLIANCE/USE

BY ARCHITECT, ENGINEER AND CONTRACTOR

6 REMOVE DOOR, NEW CASED OPENING

7 INFILL EXISTING OPENING

8 REMOVE WINDOW, INFILL OPENING

9 REMOVE STAIR, INFILL OPENING. NOTIFY ARCHITECT AND ENGINEER FOR FIELD INSPECTION AND DESIGN OF NEW FLOOR SYSTEM AND OTHER FRAMING MEMBERS

DIMENSIONED PLAN GENERAL NOTES

- A. ALL DIMENSIONS ARE SHOWN TO THE FACE OF WALL FRAMING UNLESS SPECIFICALLY NOTED OTHERWISE.
- B. HINGE SIDE OF DOOR SHALL BE LOCATED 6" TO INSIDE CORNER OF INTERSECTING WALLS UNLESS SPECIFICALLY NOTED OTHERWISE
- C. CRITICAL DIMENSIONS ARE SHOWN. IF A DIMENSION STRING INCLUDES THE WORD "VERIFY" THAT DIMENSION CAN ALLOW FOR SLIGHT ADJUSTMENTS IN LENGTH.

JAY CONE CHITECTURE P



Date: 4/15/2024



LAW COPY RIGHT AND OTHE PROPERTY RIGHTS FOR THESE LANS. THESE PLANS ARE NOT HATSOEVER. NOR ARE THEY BE ASSIGNED TO ANY THIRD ARTY WITHOUT FIRST OBTAIN EXPRESS WRITTEN PERMISSIO AND CONSENT FROM JAY CON

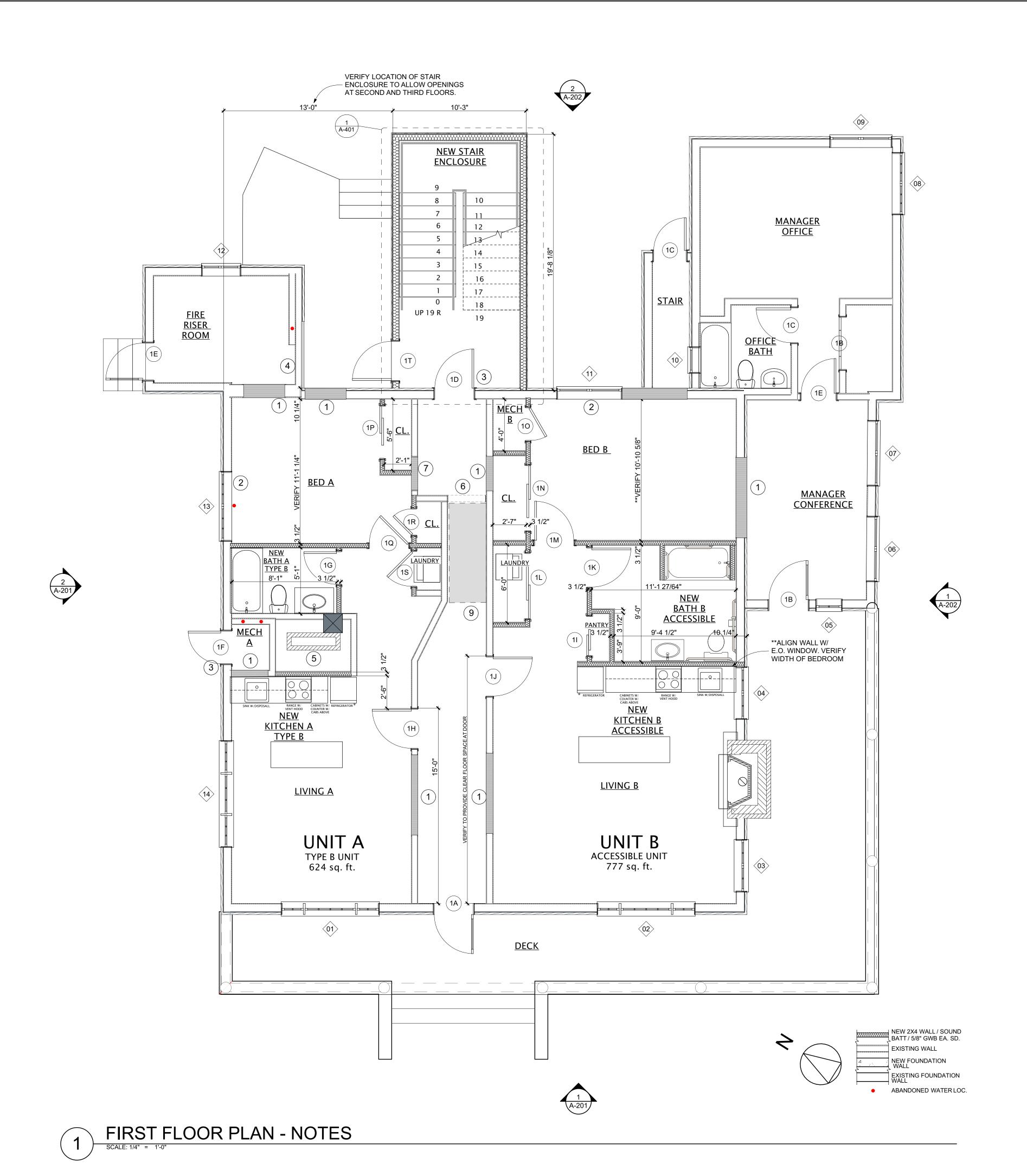
■ 1" ACTUAL ► IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING HAS BEEN ENLARGED OR

REDUCED, AFFECTING ALL LABELED SCALES.

Scale: AS NOTED Drawn: Job: 2024-3

A-100

SHEET 6



- A. ALL DIMENSIONS ARE SHOWN TO THE FACE OF WALL FRAMING UNLESS SPECIFICALLY NOTED OTHERWISE
- B. HINGE SIDE OF DOOR SHALL BE LOCATED 6" TO INSIDE CORNER OF INTERSECTING WALLS FOR NEW DOORS UNLESS SPECIFICALLY NOTED OTHERWISE
- C. INFILL WALLS WITH FRAMING AS REQUIRED, INSULATION AND REPAIR / REPLACE SIDING OR INTERIOR WALL FINISH TO MATCH EXISTING.
- D. SEE CODE COMPLIANCE PLAN FOR CODE SPECIFIC LIGHTING AND OTHER REQUIREMENTS.
- E. SEE ACCESSIBILITY DETAILS SHEET FOR SPECIFIC CRITERIA FOR REQUIRED ACCESSIBLE THRESHOLDS, REACH RANGES FOR REQUIRED ACCESSIBLE CONTROLS ETC.

FLOOR PLAN REFERENCE NOTES

1 REMOVE DOOR, INFILL OPENING

2 SMALLER WINDOW OPENING

3 REVISED OR RELOCATED OPENING WITH NEW DOOR.

4 VERIFY WALL AS EXTERIOR. ADD INSULATION, SIDING ETC. AS REQUIRED 5 EXPOSE CHASE DURING DEMOLITION FOR VERIFICATION OF CODE COMPLIANCE/USE

5 EXPOSE CHASE DURING DEMOLITION FOR VERIFICATION OF CODE COMPLIANCE/USE BY ARCHITECT, ENGINEER AND CONTRACTOR

6 REMOVE DOOR, NEW CASED OPENING

7 INFILL EXISTING OPENING

8 REMOVE WINDOW, INFILL OPENING

9 REMOVE STAIR, INFILL OPENING. NOTIFY ARCHITECT AND ENGINEER FOR FIELD INSPECTION AND DESIGN OF NEW FLOOR SYSTEM AND OTHER FRAMING MEMBERS

DIMENSIONED PLAN GENERAL NOTES

- A. ALL DIMENSIONS ARE SHOWN TO THE FACE OF WALL FRAMING UNLESS SPECIFICALLY NOTED OTHERWISE.
- B. HINGE SIDE OF DOOR SHALL BE LOCATED 6" TO INSIDE CORNER OF INTERSECTING WALLS UNLESS SPECIFICALLY NOTED OTHERWISE
- C. CRITICAL DIMENSIONS ARE SHOWN. IF A DIMENSION STRING INCLUDES THE WORD "VERIFY" THAT DIMENSION CAN ALLOW FOR SLIGHT ADJUSTMENTS IN LENGTH.

JAY CONE
CHITECTURE PC A
208.578.5226



Date: 4/15/2024

13/2024



ARCHThe Inn at
Ellsworth Estate

Issue:

© JAY CONE ARCHITECTURE P.C.

EXPRESSLY RESERVES COMMON

LAW COPY RIGHT AND OTHER

PROPERTY RIGHTS FOR THESE

PLANS. THESE PLANS ARE NOT T

BE REPRODUCED, CHANGED OR

COPIED IN ANY FORM OR MANNE

WHATSOEVER. NOR ARE THEY TO

BE ASSIGNED TO ANY THIRD

PARTY WITHOUT FIRST OBTAININ

EXPRESS WRITTEN PERMISSION

AND CONSENT FROM JAY CONE
ARCHITECTURE PC.

I" ACTUAL

IF THE ABOVE DIMENSION
DOES NOT MEASURE
ONE INCH (1") EXACTLY,
THIS DRAWING HAS
BEEN ENLARGED OR
REDUCED, AFFECTING ALL
LARGE ED SCALES

LABELED SCALES.

Scale: AS NOTED
Drawn:
Job: 2024-3

A-101

SHEET 7 OF 20

- SPECIFICALLY NOTED OTHERWISE
- B. HINGE SIDE OF DOOR SHALL BE LOCATED 6" TO INSIDE CORNER OF INTERSECTING
- C. INFILL WALLS WITH FRAMING AS REQUIRED, INSULATION AND REPAIR / REPLACE
- E. SEE ACCESSIBILITY DETAILS SHEET FOR SPECIFIC CRITERIA FOR REQUIRED ACCESSIBLE THRESHOLDS, REACH RANGES FOR REQUIRED ACCESSIBLE CONTROLS ETC.

1 REMOVE DOOR, INFILL OPENING

3 REVISED OR RELOCATED OPENING WITH NEW DOOR.

4 VERIFY WALL AS EXTERIOR. ADD INSULATION, SIDING ETC. AS REQUIRED

BY ARCHITECT, ENGINEER AND CONTRACTOR

7 INFILL EXISTING OPENING

9 REMOVE STAIR, INFILL OPENING. NOTIFY ARCHITECT AND ENGINEER FOR FIELD

DIMENSIONED PLAN GENERAL NOTES

- SPECIFICALLY NOTED OTHERWISE.
- WORD "VERIFY" THAT DIMENSION CAN ALLOW FOR SLIGHT ADJUSTMENTS IN LENGTH.

A. ALL DIMENSIONS ARE SHOWN TO THE FACE OF WALL FRAMING UNLESS

WALLS FOR NEW DOORS UNLESS SPECIFICALLY NOTED OTHERWISE

SIDING OR INTERIOR WALL FINISH TO MATCH EXISTING.

D. SEE CODE COMPLIANCE PLAN FOR CODE SPECIFIC LIGHTING AND OTHER REQUIREMENTS.

FLOOR PLAN REFERENCE NOTES

2 SMALLER WINDOW OPENING

5 EXPOSE CHASE DURING DEMOLITION FOR VERIFICATION OF CODE COMPLIANCE/USE

6 REMOVE DOOR, NEW CASED OPENING

8 REMOVE WINDOW, INFILL OPENING

INSPECTION AND DESIGN OF NEW FLOOR SYSTEM AND OTHER FRAMING MEMBERS

A. ALL DIMENSIONS ARE SHOWN TO THE FACE OF WALL FRAMING UNLESS

B. HINGE SIDE OF DOOR SHALL BE LOCATED 6" TO INSIDE CORNER OF INTERSECTING WALLS UNLESS SPECIFICALLY NOTED OTHERWISE

C. CRITICAL DIMENSIONS ARE SHOWN. IF A DIMENSION STRING INCLUDES THE

JAY CONE CHITECTURE P

Date: 4/15/2024



Ellswor

LAW COPY RIGHT AND OTHER PROPERTY RIGHTS FOR THESE LANS. THESE PLANS ARE NOT HATSOEVER. NOR ARE THEY BE ASSIGNED TO ANY THIRD RTY WITHOUT FIRST OBTAIN EXPRESS WRITTEN PERMISSION

ND CONSENT FROM JAY CON ■ 1" ACTUAL IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING HAS BEEN ENLARGED OR

REDUCED, AFFECTING ALL LABELED SCALES.

Scale: AS NOTED Drawn: Job: 2024-3

A-102

SHEET 8

SECOND FLOOR PLAN - NOTES

SCALE: 1/4" = 1'-0"

- B. HINGE SIDE OF DOOR SHALL BE LOCATED 6" TO INSIDE CORNER OF INTERSECTING
- C. INFILL WALLS WITH FRAMING AS REQUIRED, INSULATION AND REPAIR / REPLACE SIDING OR INTERIOR WALL FINISH TO MATCH EXISTING.
- D. SEE CODE COMPLIANCE PLAN FOR CODE SPECIFIC LIGHTING AND OTHER REQUIREMENTS.
- E. SEE ACCESSIBILITY DETAILS SHEET FOR SPECIFIC CRITERIA FOR REQUIRED ACCESSIBLE THRESHOLDS, REACH RANGES FOR REQUIRED ACCESSIBLE CONTROLS ETC.

FLOOR PLAN REFERENCE NOTES

- 1 REMOVE DOOR, INFILL OPENING
- 2 SMALLER WINDOW OPENING
- 3 REVISED OR RELOCATED OPENING WITH NEW DOOR.
- 4 VERIFY WALL AS EXTERIOR. ADD INSULATION, SIDING ETC. AS REQUIRED
- 5 EXPOSE CHASE DURING DEMOLITION FOR VERIFICATION OF CODE COMPLIANCE/USE BY ARCHITECT, ENGINEER AND CONTRACTOR
- 6 REMOVE DOOR, NEW CASED OPENING
- 7 INFILL EXISTING OPENING
- 8 REMOVE WINDOW, INFILL OPENING
- 9 REMOVE STAIR, INFILL OPENING. NOTIFY ARCHITECT AND ENGINEER FOR FIELD INSPECTION AND DESIGN OF NEW FLOOR SYSTEM AND OTHER FRAMING MEMBERS

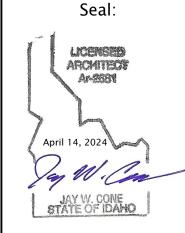
DIMENSIONED PLAN GENERAL NOTES

- A. ALL DIMENSIONS ARE SHOWN TO THE FACE OF WALL FRAMING UNLESS SPECIFICALLY NOTED OTHERWISE.
- B. HINGE SIDE OF DOOR SHALL BE LOCATED 6" TO INSIDE CORNER OF INTERSECTING WALLS UNLESS SPECIFICALLY NOTED OTHERWISE
- C. CRITICAL DIMENSIONS ARE SHOWN. IF A DIMENSION STRING INCLUDES THE WORD "VERIFY" THAT DIMENSION CAN ALLOW FOR SLIGHT ADJUSTMENTS IN LENGTH.

- A. ALL DIMENSIONS ARE SHOWN TO THE FACE OF WALL FRAMING UNLESS SPECIFICALLY NOTED OTHERWISE
- WALLS FOR NEW DOORS UNLESS SPECIFICALLY NOTED OTHERWISE

Date: 4/15/2024

JAY CONE CHITECTURE P



Ellswor

LAW COPY RIGHT AND OTHER PROPERTY RIGHTS FOR THESE LANS. THESE PLANS ARE NOT HATSOEVER. NOR ARE THEY BE ASSIGNED TO ANY THIRD ARTY WITHOUT FIRST OBTAIN EXPRESS WRITTEN PERMISSIO AND CONSENT FROM JAY CON

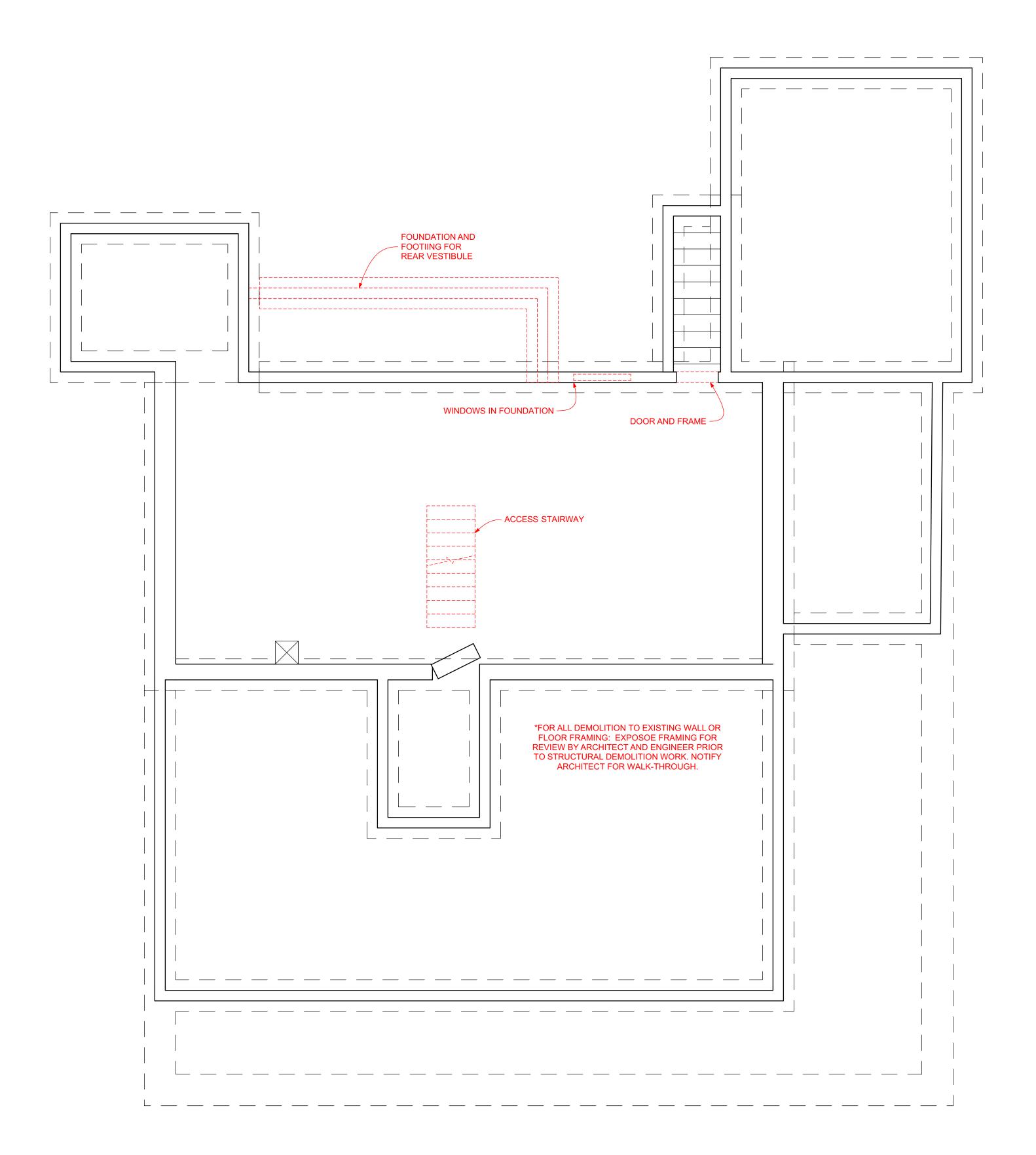
■ 1" ACTUAL IF THE ABOVE DIMENSION ONE INCH (1") EXACTLY, THIS DRAWING HAS BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

Scale: AS NOTED

Drawn: Job: 2024-3

A-103

SHEET 9



- A. WORK AREA LIMITS SHALL BE CONFINED TO REASONABLE BOUNDARIES NEEDED FOR COMPLETION OF THE WORK.
- B. EXISTING ELEMENTS TO BE DEMOLISHED ARE SHOWN IN RED LINES.

 EXTENT OF DEMOLITION TO BE REVIEWED WITH ARCHITECT PRIOR TO DEMOLITION WORK.
- C. DURING DEMOLTION, IF CONDITIONS ARE DISCOVERED THAT VARY FROM ASSUMED CONDITIONS, CONTRACTOR SHALL NOTIFY ARCHITECT.
- D. ALL EXISTING TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION TO MINIMIZE POTENTIAL DAMAGE DURING DEMOLITION AND CONSTRUCTION ACTIVITIES.
- E. ITEMS SHOWN OR DESCRIBED TO BE RE-USED SHALL BE REMOVED CAREFULLY AND PROTECTED TO ALLOW REINSTALLATION AFTER REPAIR.
- F. TAKE CARE DURING DEMOLITION TO PREVENT DAMAGE TO EXISTING BUILDING ELEMENTS TO REMAIN.
- G. SAWCUTTING AND SLAB REMOVAL IS REQUIRED THROUGH THE FULL SLAB THICKNESS.
- H. DEMOLITION PLANS SHOW GENERAL AREAS AND FEATURES TO BE DEMOLISHED. CONTRACTOR TO DETERMINE COMPLETE EXTENT OF DEMOLITION.

JAY CONE CHITECTURE PC 208.578.5226



Date: 4/15/2024

13/2024



AKCH The Inn at Elsworth Estate

Issue:

© JAY CONE ARCHITECTURE P.C
EXPRESSLY RESERVES COMMON
LAW COPY RIGHT AND OTHER
PROPERTY RIGHTS FOR THESE
PLANS. THESE PLANS ARE NOT T
BE REPRODUCED, CHANGED OF
COPIED IN ANY FORM OR MANNI
WHATSOEVER. NOR ARE THEY T
BE ASSIGNED TO ANY THIRD
PARTY WITHOUT FIRST OBTAININ
EXPRESS WRITTEN PERMISSION
AND CONSENT FROM JAY CONE

I" ACTUAL

IF THE ABOVE DIMENSION
DOES NOT MEASURE
ONE INCH (1") EXACTLY,
THIS DRAWING HAS
BEEN ENLARGED OR
BEDIGED ACCOUNTS

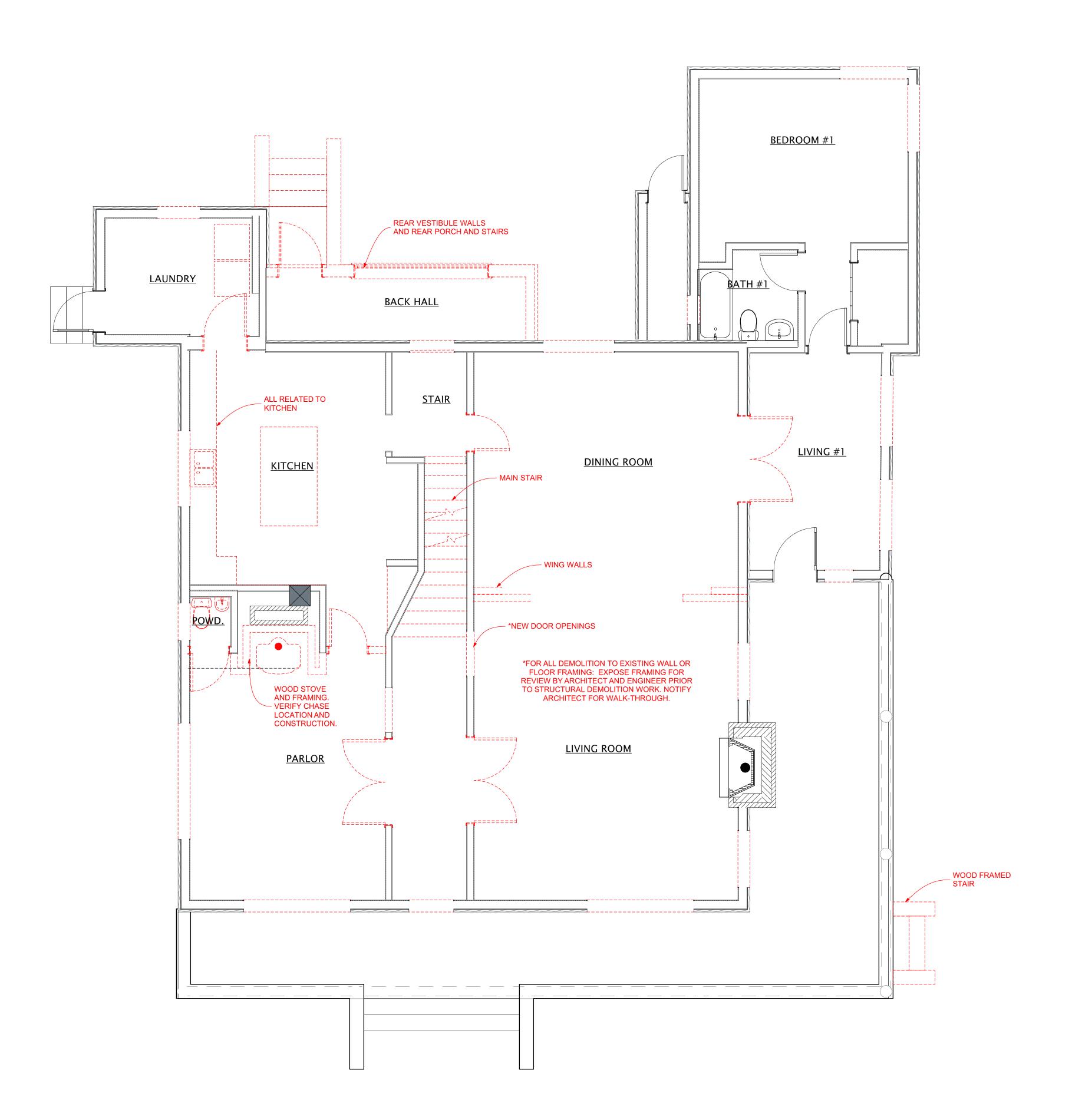
ONE INCH (1") EXACTLY,
THIS DRAWING HAS
BEEN ENLARGED OR
REDUCED, AFFECTING ALL
LABELED SCALES.

Scale: AS NOTED

Drawn:

Job: 2024-3

A-11



- A. WORK AREA LIMITS SHALL BE CONFINED TO REASONABLE BOUNDARIES NEEDED FOR COMPLETION OF THE WORK.
- B. EXISTING ELEMENTS TO BE DEMOLISHED ARE SHOWN IN RED LINES.

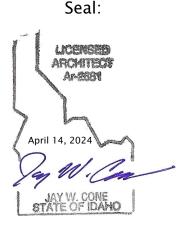
 EXTENT OF DEMOLITION TO BE REVIEWED WITH ARCHITECT PRIOR TO DEMOLITION WORK.
- C. DURING DEMOLTION, IF CONDITIONS ARE DISCOVERED THAT VARY FROM ASSUMED CONDITIONS, CONTRACTOR SHALL NOTIFY ARCHITECT.
- D. ALL EXISTING TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION TO MINIMIZE POTENTIAL DAMAGE DURING DEMOLITION AND CONSTRUCTION ACTIVITIES.
- E. ITEMS SHOWN OR DESCRIBED TO BE RE-USED SHALL BE REMOVED CAREFULLY AND PROTECTED TO ALLOW REINSTALLATION AFTER REPAIR.
- F. TAKE CARE DURING DEMOLITION TO PREVENT DAMAGE TO EXISTING BUILDING ELEMENTS TO REMAIN.
- G. SAWCUTTING AND SLAB REMOVAL IS REQUIRED THROUGH THE FULL SLAB THICKNESS.
- H. DEMOLITION PLANS SHOW GENERAL AREAS AND FEATURES TO BE DEMOLISHED. CONTRACTOR TO DETERMINE COMPLETE EXTENT OF DEMOLITION.

JAY CONE
ARCHITECTURE PC
208.578.5226
icone@iavconearchitecture.cc



Date: 4/15/2024

13/2024



AKCH
The Inn at
Ellsworth Estate

Issue: RFP

© JAY CONE ARCHITECTURE P.C.
EXPRESSLY RESERVES COMMON
LAW COPY RIGHT AND OTHER
PROPERTY RIGHTS FOR THESE
PLANS. THESE PLANS ARE NOT TO
BE REPRODUCED, CHANGED OR
COPIED IN ANY FORM OR MANNER
WHATSOEVER. NOR ARE THEY TO
BE ASSIGNED TO ANY THIRD
PARTY WITHOUT FIRST OBTAINING
EXPRESS WRITTEN PERMISSION
AND CONSENT FROM JAY CONE

I" ACTUAL

IF THE ABOVE DIMENSION DOES NOT MEASURE
ONE INCH (1") EXACTLY,
THIS DRAWING HAS
BEEN ENLARGED OR
REDUCED, AFFECTING ALL
LABELED SCALES.

ale: AS NOTED

Scale: AS NOTED

Drawn:

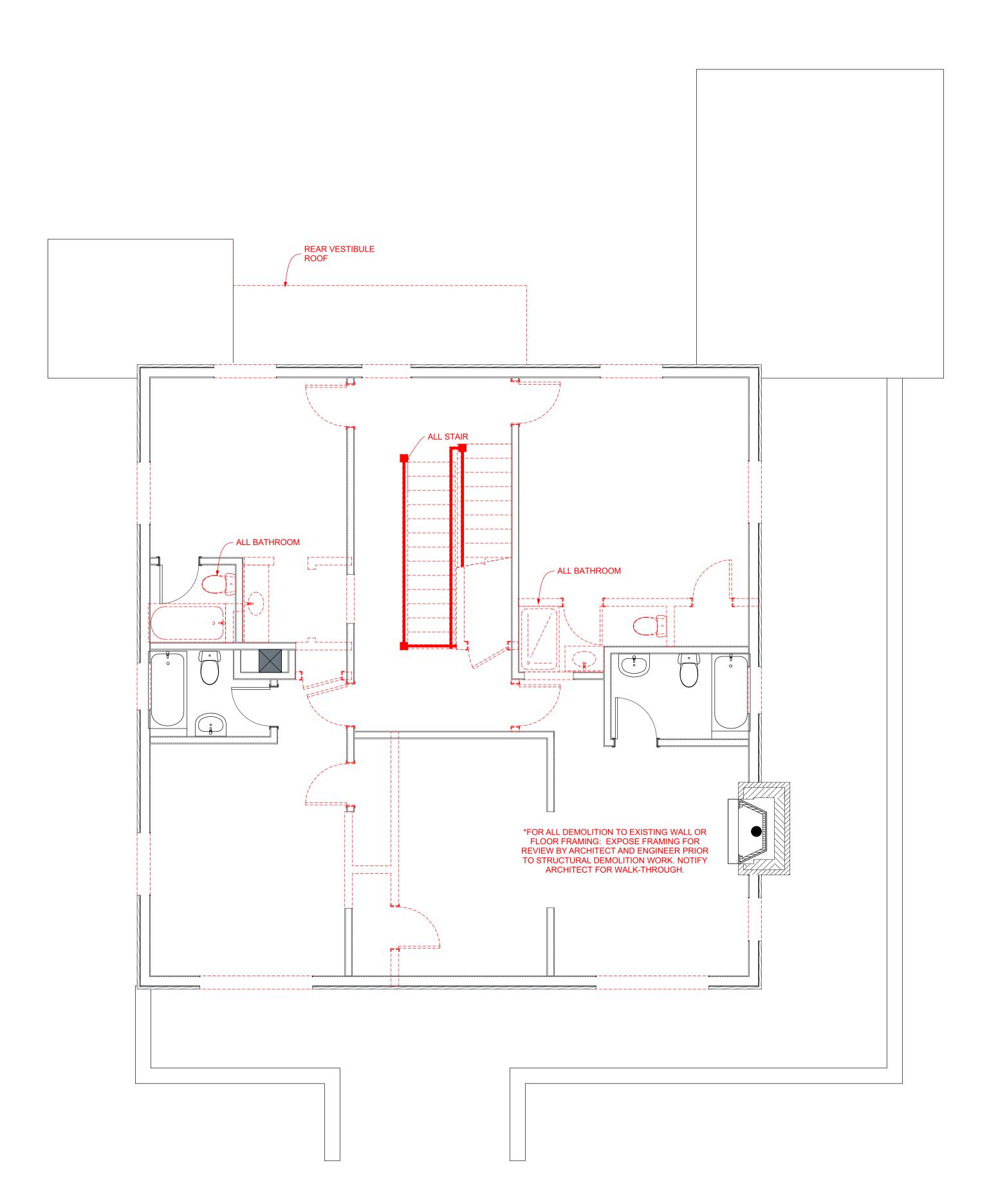
Job: 2024-3

A-112

SHEET 11 OF 20

FIRST FLOOR PLAN - DEMOLITION

SCALE: 1/4" = 1'-0"



- A. WORK AREA LIMITS SHALL BE CONFINED TO REASONABLE BOUNDARIES NEEDED FOR COMPLETION OF THE WORK.
- B. EXISTING ELEMENTS TO BE DEMOLISHED ARE SHOWN IN RED LINES. EXTENT OF DEMOLITION TO BE REVIEWED WITH ARCHITECT PRIOR TO DEMOLITION WORK.
- C. DURING DEMOLTION, IF CONDITIONS ARE DISCOVERED THAT VARY FROM ASSUMED CONDITIONS, CONTRACTOR SHALL NOTIFY ARCHITECT.
- D. ALL EXISTING TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION TO MINIMIZE POTENTIAL DAMAGE DURING DEMOLITION AND CONSTRUCTION ACTIVITIES.
- E. ITEMS SHOWN OR DESCRIBED TO BE RE-USED SHALL BE REMOVED CAREFULLY AND PROTECTED TO ALLOW REINSTALLATION AFTER REPAIR.
- F. TAKE CARE DURING DEMOLITION TO PREVENT DAMAGE TO EXISTING BUILDING ELEMENTS TO REMAIN.
- G. SAWCUTTING AND SLAB REMOVAL IS REQUIRED THROUGH THE FULL SLAB THICKNESS.
- H. DEMOLITION PLANS SHOW GENERAL AREAS AND FEATURES TO BE DEMOLISHED. CONTRACTOR TO DETERMINE COMPLETE EXTENT OF DEMOLITION.

JAY CONE SCHITECTURE PC



Date: 4/15/2024



Ellswor

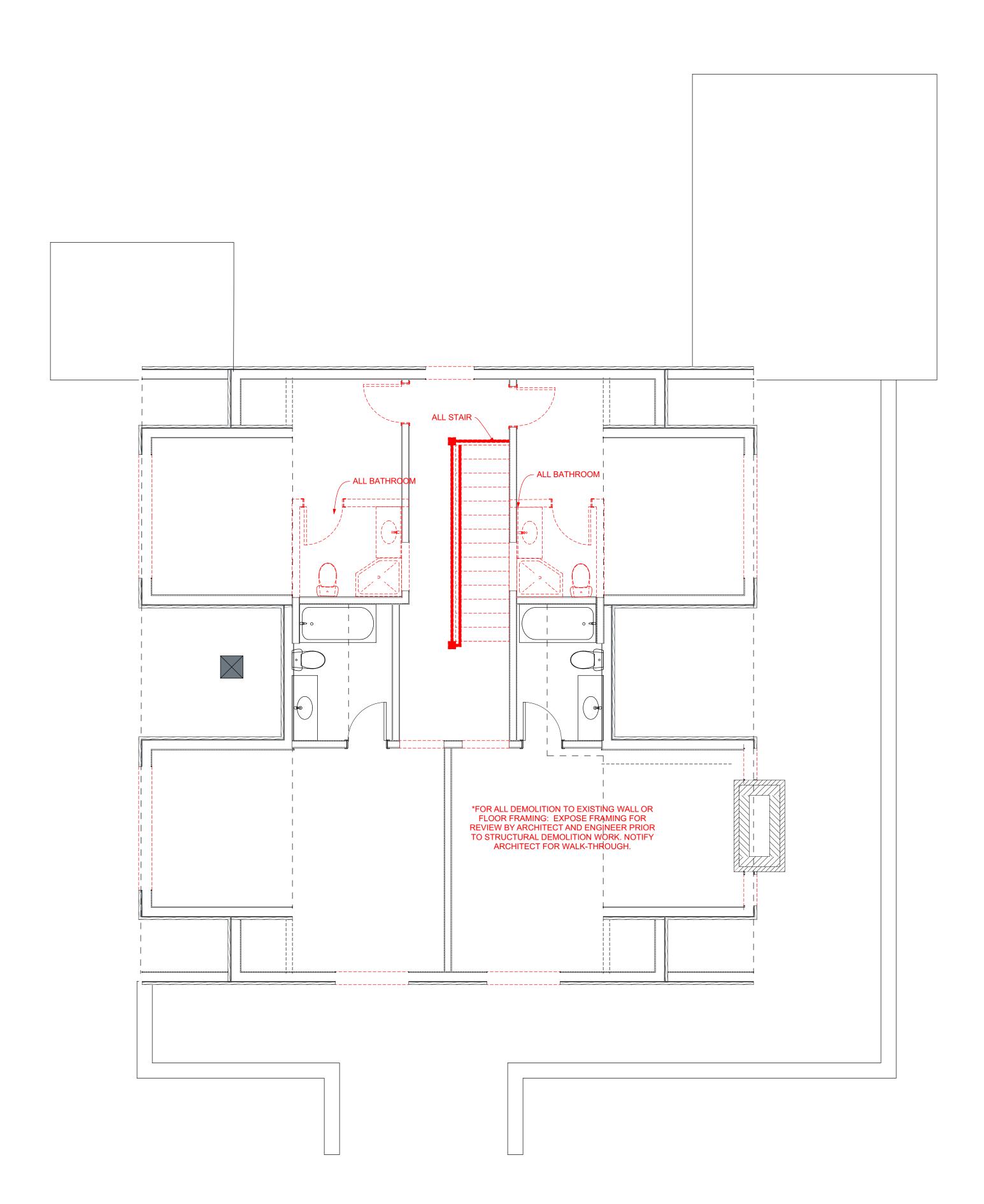
LAW COPY RIGHT AND OTHER PROPERTY RIGHTS FOR THESE PLANS. THESE PLANS ARE NOT T BE ASSIGNED TO ANY THIRD ARTY WITHOUT FIRST OBTAINI EXPRESS WRITTEN PERMISSION AND CONSENT FROM JAY CONE

■ 1" ACTUAL IF THE ABOVE DIMENSION ONE INCH (1") EXACTLY, THIS DRAWING HAS BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

Scale: AS NOTED Drawn: Job: 2024-3

A-113

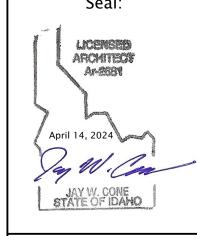
SHEET 12 OF 20



- A. WORK AREA LIMITS SHALL BE CONFINED TO REASONABLE BOUNDARIES NEEDED FOR COMPLETION OF THE WORK.
- B. EXISTING ELEMENTS TO BE DEMOLISHED ARE SHOWN IN RED LINES. EXTENT OF DEMOLITION TO BE REVIEWED WITH ARCHITECT PRIOR TO DEMOLITION WORK.
- C. DURING DEMOLTION, IF CONDITIONS ARE DISCOVERED THAT VARY FROM ASSUMED CONDITIONS, CONTRACTOR SHALL NOTIFY ARCHITECT.
- D. ALL EXISTING TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION TO MINIMIZE POTENTIAL DAMAGE DURING DEMOLITION AND CONSTRUCTION ACTIVITIES.
- E. ITEMS SHOWN OR DESCRIBED TO BE RE-USED SHALL BE REMOVED CAREFULLY AND PROTECTED TO ALLOW REINSTALLATION AFTER REPAIR.
- F. TAKE CARE DURING DEMOLITION TO PREVENT DAMAGE TO EXISTING BUILDING ELEMENTS TO REMAIN.
- G. SAWCUTTING AND SLAB REMOVAL IS REQUIRED THROUGH THE FULL SLAB THICKNESS.
- H. DEMOLITION PLANS SHOW GENERAL AREAS AND FEATURES TO BE DEMOLISHED. CONTRACTOR TO DETERMINE COMPLETE EXTENT OF DEMOLITION.

Date:

4/15/2024



LAW COPY RIGHT AND OTHER PROPERTY RIGHTS FOR THESE PLANS. THESE PLANS ARE NOT T VHATSOEVER. NOR ARE THEY T BE ASSIGNED TO ANY THIRD ARTY WITHOUT FIRST OBTAINI EXPRESS WRITTEN PERMISSION

AND CONSENT FROM JAY CONE ■ 1" ACTUAL IF THE ABOVE DIMENSION ONE INCH (1") EXACTLY, THIS DRAWING HAS BEEN ENLARGED OR REDUCED, AFFECTING ALL

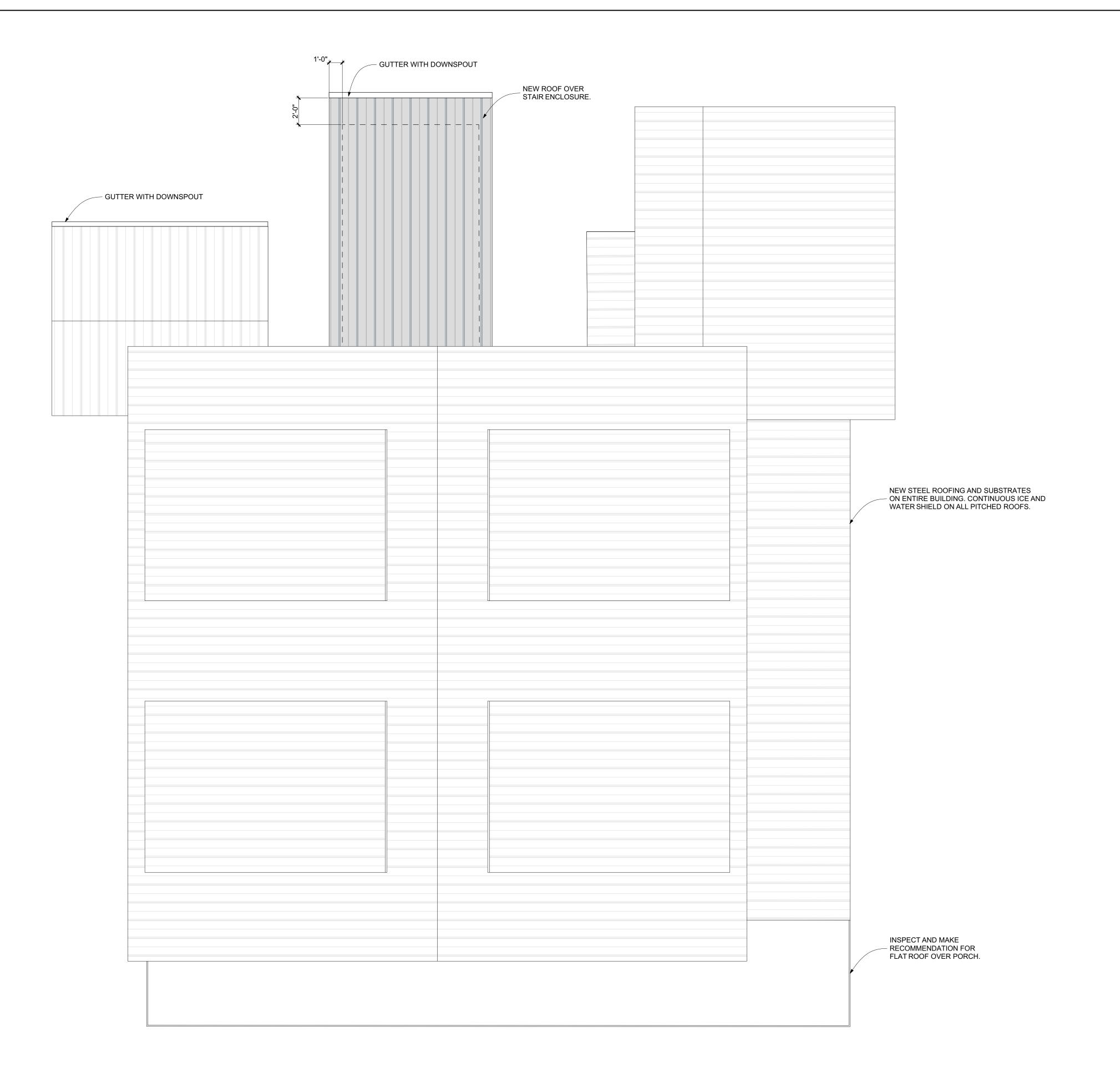
LABELED SCALES.

Scale: AS NOTED Drawn: Job: 2024-3

SHEET 13 OF 20

THIRD FLOOR PLAN - DEMOLITION

SCALE: 1/4" = 1'-0"



ROOF PLAN GENERAL NOTES

- A. VERIFY LOCATION OF ALL GUTTERS AND DOWNSPOUTS W/ ARCHITECT. ALL DOWNSPOUTS AND GUTTERS TO HAVE HEAT TAPE. HEAT TAPE TO EXTEND TO DRYWELLS OR DAYLIGHT.
- B. REPLACEMENT ROOF TO INCLUDE CONTINUOUS ICE AND WATER SHIELD.
 REMOVE EXISTING ROOF AND SUBSTRATES COMPLETELY TO EXPOSE
- C. ROOFING MATERIAL TO BE APPROVED BY ARCHITECT.

JAY CONE ACHITECTURE PC / 208.578.5226



4/15/2024



The Ellswor

LAW COPY RIGHT AND OTHER PROPERTY RIGHTS FOR THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR WHATSOEVER. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING EXPRESS WRITTEN PERMISSION AND CONSENT FROM JAY CONE

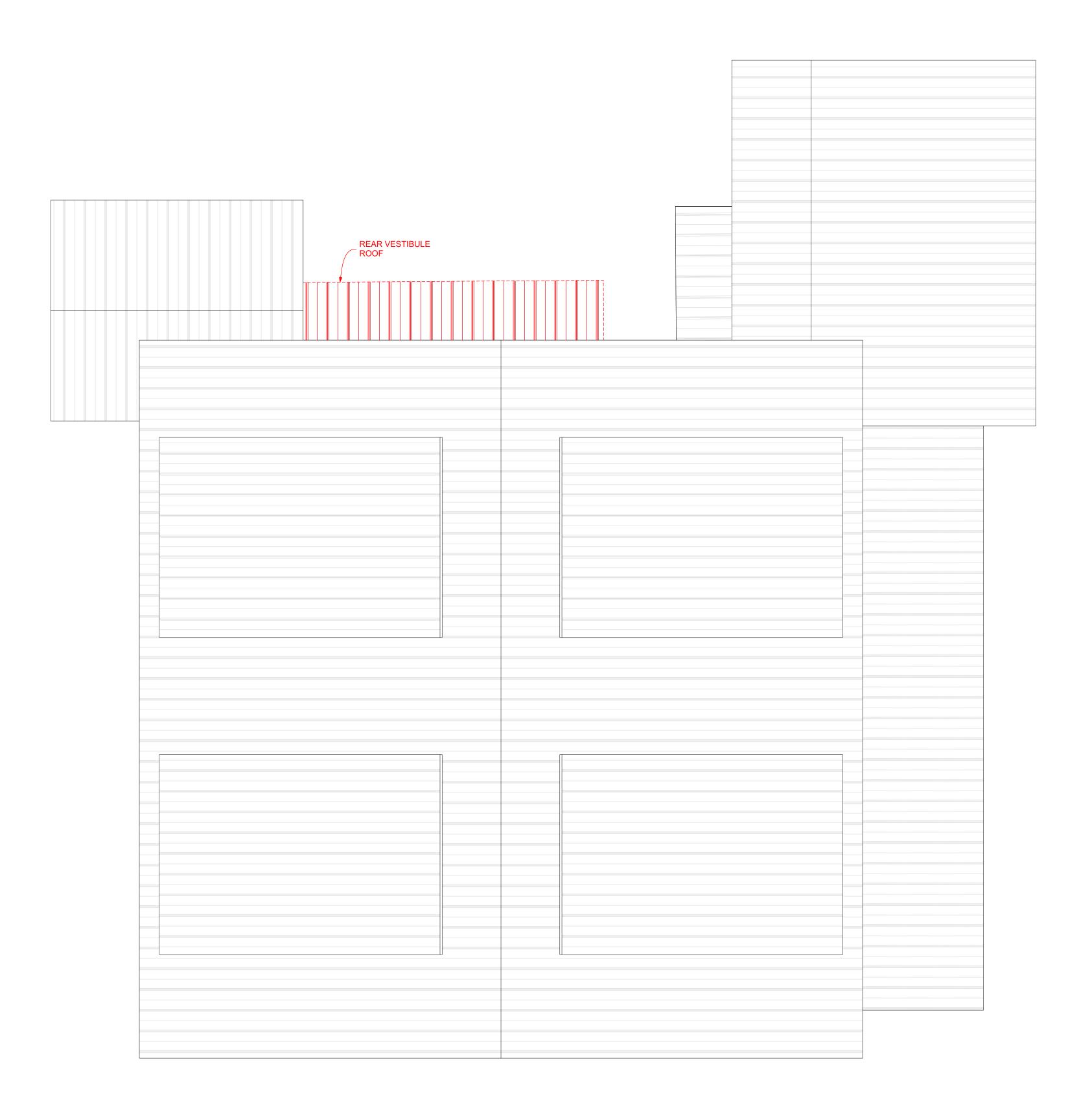
> ■ 1" ACTUAL ► IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING HAS BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

NOIL

Scale: AS NOTED

Drawn: Job: 2024-3

SHEET 14 OF 20



- A. WORK AREA LIMITS SHALL BE CONFINED TO REASONABLE BOUNDARIES NEEDED FOR COMPLETION OF THE WORK.
- B. EXISTING ELEMENTS TO BE DEMOLISHED ARE SHOWN IN RED LINES.

 EXTENT OF DEMOLITION TO BE REVIEWED WITH ARCHITECT PRIOR TO DEMOLITION WORK.
- C. DURING DEMOLTION, IF CONDITIONS ARE DISCOVERED THAT VARY FROM ASSUMED CONDITIONS, CONTRACTOR SHALL NOTIFY ARCHITECT.
- D. ALL EXISTING TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION TO MINIMIZE POTENTIAL DAMAGE DURING DEMOLITION AND CONSTRUCTION ACTIVITIES.
- E. ITEMS SHOWN OR DESCRIBED TO BE RE-USED SHALL BE REMOVED CAREFULLY AND PROTECTED TO ALLOW REINSTALLATION AFTER REPAIR.
- F. TAKE CARE DURING DEMOLITION TO PREVENT DAMAGE TO EXISTING BUILDING ELEMENTS TO REMAIN.
- G. SAWCUTTING AND SLAB REMOVAL IS REQUIRED THROUGH THE FULL SLAB THICKNESS.
- H. DEMOLITION PLANS SHOW GENERAL AREAS AND FEATURES TO BE DEMOLISHED. CONTRACTOR TO DETERMINE COMPLETE EXTENT OF DEMOLITION.

JAY CONE
ARCHITECTURE PC,
208.578.5226
jcone@jayconearchitecture.com

Date: 4/15/2024

15/2024



ARCH The Inn at Ellsworth Estate

Issue:

© JAY CONE ARCHITECTURE P.C. EXPRESSLY RESERVES COMMON LAW COPY RIGHT AND OTHER PROPERTY RIGHTS FOR THESE LANS. THESE PLANS ARE NOT TO

PARTY WITHOUT FIRST OBTAININ'
EXPRESS WRITTEN PERMISSION
AND CONSENT FROM JAY CONE
ARCHITECTURE PC.

I" ACTUAL

IF THE ABOVE DIMENSION
DOES NOT MEASURE
ONE INCH (1") EXACTLY,
THIS DRAWING HAS
BEEN ENLARGED OR

BEEN ENLARGED OR
REDUCED, AFFECTING ALL
LABELED SCALES.

Scale: AS NOTED
Drawn:
Job: 2024-3

A-122

SHEET 15 OF 20

ROOF PLAN - DEMOLITION

SCALE: 1/4" = 1'-0"







NORTH ELEVATION

SCALE: 3/16" = 1'-0"

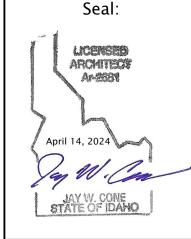
BUILDING ELEVATION GENERAL NOTES

- A. VERIFY T.O. SUBFLOOR TO GRADE HEIGHT.

 B. FLOOR TO FLOOR HEIGHTS FOR STAIR CONSTRUCTION TO BE DETERMINED
- AFTER INTERIOR DEMOLITION.
- B. ALL FACIA, TRIM FLASHING AND STANDARD DETAILS TO MATCH EXISTING.C. VERIFY LOG SIDING SIZE, DETAILS AND FINISH TO MATCH EXISTING WHERE
- INFILL OR REPLACEMENT IS REQUIRED.



Date: 4/15/2024



Ellswor

LAW COPY RIGHT AND OTHER PROPERTY RIGHTS FOR THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR VHATSOEVER. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING EXPRESS WRITTEN PERMISSION AND CONSENT FROM JAY CONE

NOIL

■ 1" ACTUAL ► IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING HAS BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

Scale: AS NOTED Drawn: Job: 2024-3

A-201

SHEET 16 OF 20



SOUTH ELEVATION SCALE: 3/16" = 1'-0"



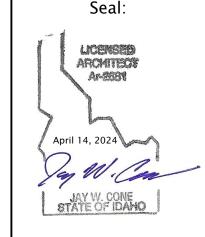
SCALE: 3/16" = 1'-0"

BUILDING ELEVATION GENERAL NOTES

- A. VERIFY T.O. SUBFLOOR TO GRADE HEIGHT.B. FLOOR TO FLOOR HEIGHTS FOR STAIR CONSTRUCTION TO BE DETERMINED AFTER INTERIOR DEMOLITION.
- B. ALL FACIA, TRIM FLASHING AND STANDARD DETAILS TO MATCH EXISTING.
- C. VERIFY LOG SIDING SIZE, DETAILS AND FINISH TO MATCH EXISTING WHERE INFILL OR REPLACEMENT IS REQUIRED.

JAY CONE SCHITECTURE PC , 208.578.5226

Date: 4/15/2024



Ellswor

RFP

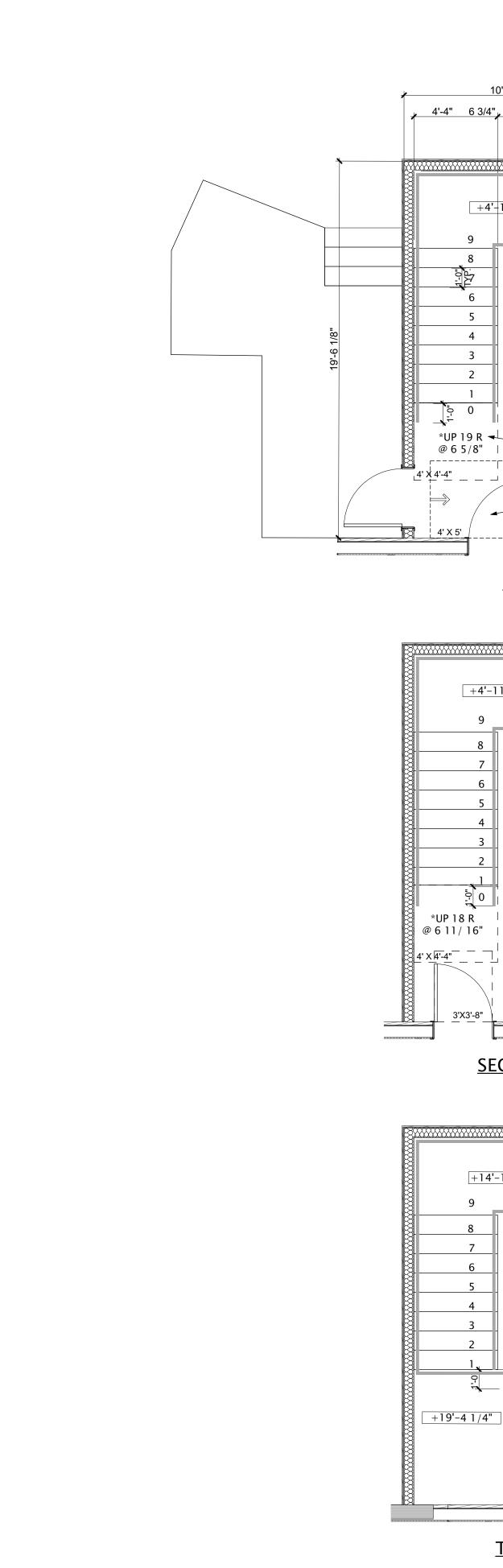
LAW COPY RIGHT AND OTHER PROPERTY RIGHTS FOR THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR WHATSOEVER. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING EXPRESS WRITTEN PERMISSION AND CONSENT FROM JAY CONE

■ 1" ACTUAL ► IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING HAS BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

Scale: AS NOTED

Drawn: Job: 2024-3

SHEET 17 OF 20



One-hour rated wall for fire exposure from the inside. 5/8" Type–X GWB continuous at interior.

Head height above risers 6'-8" minimum.

Handrail 1 1/4"- 2" in diameter, 34"-38" above nosing of stair treads, 1 1/2" min. clear to wall finish. Rail to be continuous from top to bottom at both sides of stair extending 1' past the top riser and extending on slope for 1' past the bottom riser. Total projection of rail not to exceed 4" each side. Verify 44" between handrails minimum.

Stair Risers 7" Max. height with a minimum tead depth of 11". Treads to be covered with a slip resistant material. Nosings on solid risers with curvature not greater than 9 /16"

- IBC Landing

- ADA Clear Area

One-hour rated wall for fire exposure from the inside. 5/8" Type-X GWB — continuous at existing exterior wall within the enclosure. Remove siding to apply GWB.

FIRST FLOOR

4'-4" 6 3/4" 4'-4"

+4'-11 5/8""

12

18

*UP 19 R - 19 @ 6 5/8" |

+4'-11 5/8""

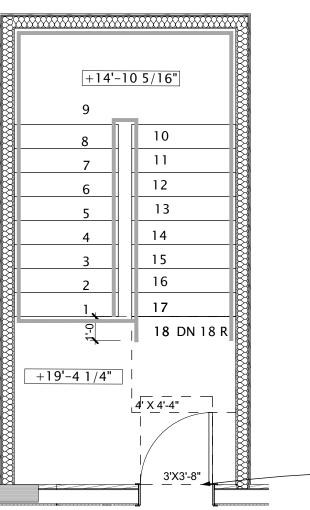
0



One-hour rated wall for fire exposure from the inside. 5/8" Type-X GWB continuous at existing exterior wall within the enclosure. Remove siding to apply GWB.

SECOND FLOOR

+10'-5 5/8"



One-hour rated wall for fire exposure from the inside. 5/8" Type-X GWB - continuous at existing exterior wall within the enclosure. Remove siding to apply GWB.

THIRD FLOOR

NEW STAIR ENCLOSURE

Ellswor

JAY CONE ARCHITECTURE PC 1 208.578.5226

Date:

4/15/2024

Seal:

LICENSES ARCHITECT Ar-2581

April 14, 2024

Issue: RFP

LAW COPY RIGHT AND OTHER PROPERTY RIGHTS FOR THESE PLANS. THESE PLANS ARE NOT T BE REPRODUCED, CHANGED OR VHATSOEVER. NOR ARE THEY T BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAININ EXPRESS WRITTEN PERMISSION AND CONSENT FROM JAY CONE ARCHITECTURE PC.

1" ACTUAL IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING HAS BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

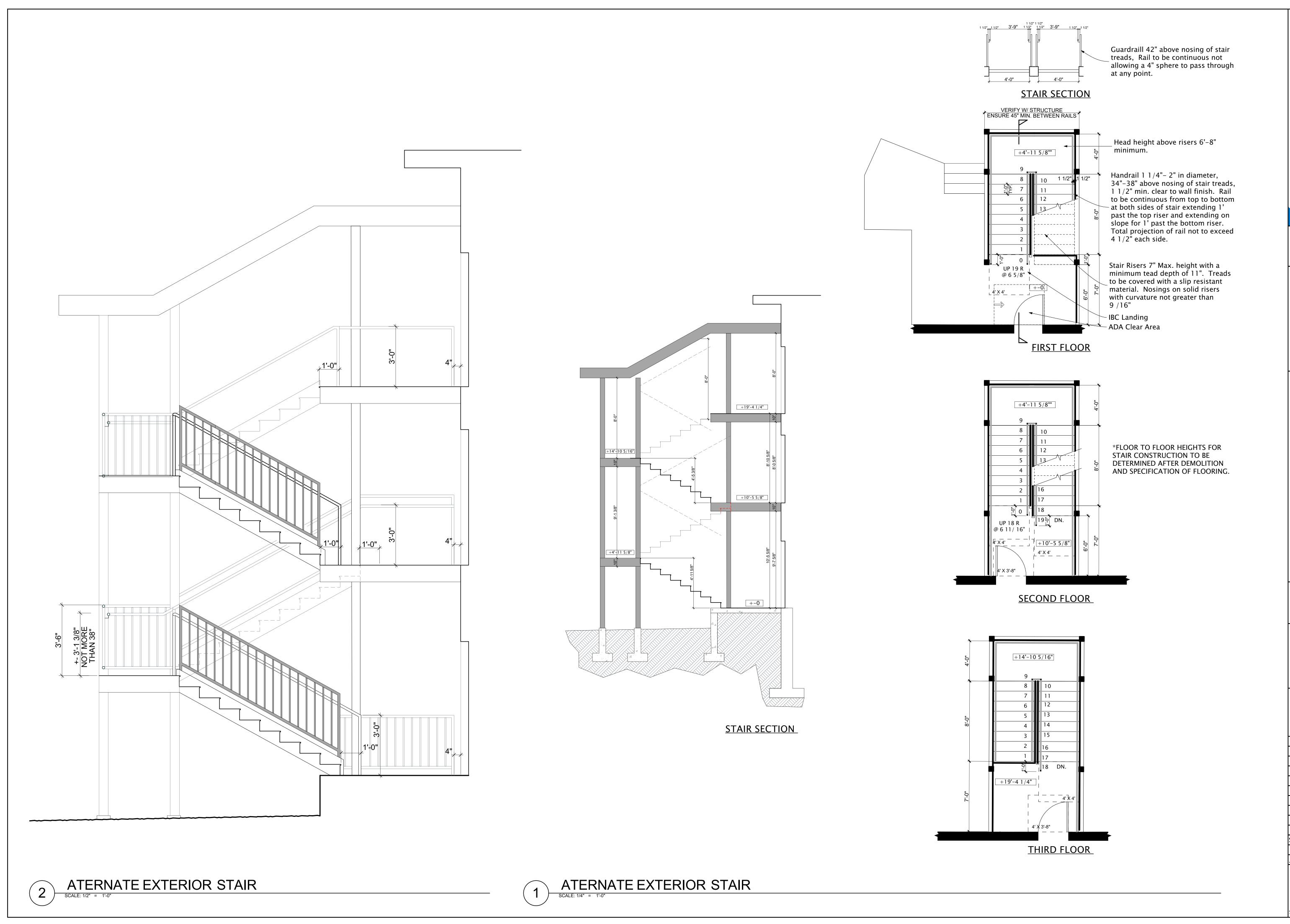
NO

CONSTI FOR NOT

Scale: AS NOTED Drawn: Job: 2024-3

|A-401|

SHEET 18 OF 20

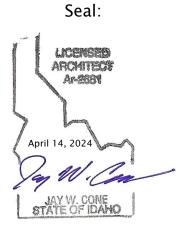


JAY CONE
RCHITECTURE PC AI,
208.578.5226
jcone@jayconearchitecture.com

ARG

Date: 4/15/2024

13/2024



AKCH
The Inn at
Ellsworth Estate

Issue:

© JAY CONE ARCHITECTURE P.C.
EXPRESSLY RESERVES COMMON
LAW COPY RIGHT AND OTHER
PROPERTY RIGHTS FOR THESE
PLANS. THESE PLANS ARE NOT TO
BE REPRODUCED, CHANGED OR
COPIED IN ANY FORM OR MANNE!
WHATSOEVER. NOR ARE THEY TO
BE ASSIGNED TO ANY THIRD
PARTY WITHOUT FIRST OBTAININI
EXPRESS WRITTEN PERMISSION
AND CONSENT FROM JAY CONE
ARCHITECTURE PC.

ARCHITECTURE PC.

1" ACTUAL

IF THE ABOVE DIMENSION
DOES NOT MEASURE
ONE INCH (1") EXACTLY,
THIS DRAWING HAS
BEEN ENLARGED OR
REDUCED, AFFECTING ALL
LABELED SCALES.

EDUCED, AFFECTING ALL
LABELED SCALES.

Scale: AS NOTED
Drawn:

Drawn: Job: 2024-3

A-402

SHEET 19 OF 20

ID 0A	WIDTH	HEIGHT					
0A		ПЕІВПІ	TYPE	MATERIAL	HARDWARE	ACCESSORIES	REMARKS
	2'-6"	6'-0"	SWING	STEEL/INSUL	ENTRANCE	CLOSER	VERIFY INSTALLATION
1A	3'-0"	6'-8"	SWING	WOOD/GLASS	PANIC/KEYED	CLOSER	ADA, EXTERIOR LEVER, REVERSE SWING, VERIFY USING EXISTING
1D	3'-0"	6'-8"	SWING	STEEL/INSUL	PANIC/PASSAGE	CLOSER	ADA, EXTERIOR LEVER, 3/4 HOUR RATED, LABELED
1F	2'-6"	6'-8"					
1G	2'-6"	6'-8"					
1H	3'-0"	6'-8"	SWING	SOLID CORE	ENTRANCE	CLOSER	ADA LEVER, 20 MIN. RATED LABELED
11	3'-0"	6'-8"					
1J	3'-0"	6'-8"	SWING	SOLID CORE	ENTRANCE	CLOSER	ADA LEVER, 20 MIN. RATED LABELED
1K	3'-0"	6'-8"					
1L	3'-0"	6'-8"					
1L	5'-0"	6'-8"					
1M	3'-0"	6'-8"					
1N	5'-0"	6'-8"					
10	2'-6"	6'-8"					
1P	4'-0"	6'-8"					
1Q	3'-0"	6'-8"					
1R	2'-0"	6'-8"					
1S	2'-8"	6'-8"					
1T	3'-0"	6'-8"	SWING	STEEL/INSUL	PANIC/KEYED	CLOSER	ADA, EXTERIOR LEVER, 3/4 HOUR RATED, LABELED
1U	3'-0"	6'-8"					
2A	2'-6"	6'-8"					
2B	2'-6"	6'-8"					
2D	5'-0"	6'-8"					
2E	3'-0"	6'-8"	SWING	STEEL/INSUL	PANIC/PASSAGE	CLOSER	EXTERIOR LEVER, 3/4 HOUR RATED, LABELED
2F	3'-0"	6'-8"					
2G	3'-0"	6'-8"					
2H	3'-0"	6'-8"	SWING	SOLID CORE	ENTRANCE	CLOSER	20 MINUTE RATED LABELED
21	3'-0"	6'-8"	SWING	SOLID CORE	ENTRANCE	CLOSER	20 MINUTE RATED LABELED
2L	3'-0"	6'-8"					
3C	3'-0"	6'-8"					
3D	3'-0"	6'-8"					
3E	2'-8"	6'-8"	SWING	SOLID CORE	ENTRANCE	CLOSER	20 MINUTE RATED LABELED
3F	2'-8"	6'-8"	SWING	SOLID CORE	ENTRANCE	CLOSER	20 MINUTE RATED LABELED
3G	3'-0"	6'-8"	SWING	STEEL/INSUL	PANIC/PASSAGE	CLOSER	EXTERIOR LEVER, 3/4 HOUR RATED, LABELED

	WINDOW SCHEDULE								
	WIDOW SIZE								
ID	NOMINAL WIDTH	NOMINAL HEIGHT	TYPE	MATERIAL	ACCESORIES	HARDWARE	EGRESS	REMARKS	
01	7'-6"	5'-0"	Casement						
02	7'-6"	5'-0"	Casement						
03	4'-0"	5'-0"	Casement						
04	4'-0"	5'-0"	Casement						
05	2'-0"	5'-0"	Casement						
06	5'-0"	4'-6"	Casement						
07	5'-0"	4'-6"	Casement						
08	4'-9"	4'-6"	Casement						
09	4'-9"	4'-6"	Casement						
10	2'-0"	2'-8"	Casement						
11	5'-0"	4'-6"	Casement				YES	(E) OPENING INCREASED FOR HEIGHT	
12	3'-0"	3'-0"	Casement						
13	5'-4"	4'-0"	Casement				YES	(E) OPENING INCREASESD FOR HEIGHT	
14	8'-2"	5'-0"	Casement						
20	7'-3"	4'-4"	Casement						
21	7'-3"	4'-4"	Casement						
22	2'-6"	5'-0"	Casement						
23	2'-9"	3'-3"	Casement						
24	4'-0"	4'-6"	Casement				YES		
25	4'-0"	4'-6"	Casement				YES		
26	2'-9"	3'-3"	Casement						
27	4'-0"	4'-6"	Casement						
28	4'-0"	4'-6"	Casement						
29	4'-0"	4'-6"	Casement						
30	4'-9"	4'-6"	Casement						
31	4'-9"	4'-6"	Casement						
32	2'-0"	4'-5"	Casement						
33	2'-0"	4'-5"	Casement						
34	4'-0"	4'-6"	Casement						
35	4'-0"	4'-6"	Casement				YES		
36	4'-0"	4'-6"	Casement				YES		
37	4'-0"	4'-6"	Casement						
38	4'-0"	4'-6"	Casement						
39	4'-0"	4'-6"	Casement						

- 1 ALL OPERABLE WINDOWS TO HAVE SCREENS.
- 2 WINDOWS LABELED AS CASEMENT MAY INCLUDE A FIXED PANEL OR FLANKERS 3 WINDOWS TO MATCH LAYOUT AND GENERAL SIZE OF EXISTING EXCEPT EGRESS WINDOWS.
- 4 SEE SCOPE OF WORK NOTES FOR ADDITIONAL INFORMATION.

DOOR GENERAL NOTES

- A. ALL DOORS, DOOR FINISHES, HARDWARE TYPES, HARDWARE FINISHES, SHALL BE REVIEWED AND VERIFIED BY ARCHITECT.
- B. REFER TO THE FLOOR PLANS FOR DOOR LOCATIONS
- C. PROVIDE ORDER LIST TO OWNER AND ARCHITECT FOR APPROVAL
- D. SEE ENERGY COMPLIANCE MATERIALS FOR INSULATION VALUES
- E. INTERIOR WOOD RAISED PANEL DOORS TO MATCH EXISTING DOORS.VERIFY DOOR MATERIAL AND STYLE WITH OWNER AND ARCHITECT PRIOR TO ORDERING.
- F. SEE ELEVAITONS FOR STYLE AND OR DIVIDED LITE PATTERN.
- G. SAFETY GLAZING IS REQUIRED PER IBC, IN FIXED OR OPERABLE PANELS WITHIN A 24" ARC OF EITHER A VERTICAL EDGE OF A DOOR AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE. SAFETY GLAZING IS ALSO REQUIRED IN ALL DOORS. SAFETY GLAZING IS ALSO REQUIRED IN GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN THOSE LOCATIONS DESCRIBED ABOVE THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
- 1. EXPOSED AREA OF THE INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
- 2. EXPOSED BOTTOM EDGE LESS THAT 18" ABOVE FLOOR.
- 3. EXPOSED TOP EDGE GREATER THAT 36" ABOVE FLOOR, AND
- 4. ONE ARE MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE PLANE OF THE GLAZING.
- H. MEANS OF EGRESS: EVERY RESIDENCE SHALL HAVE AT LEAST ONE EGRESS DOOR WHICH IS SIDE SWINGING WITH A CLEAR WIDTH OF 32" MIN. THERE SHALL BE A LANDING ON EITHER SIDE OF THE DOOR NOT LESS THAN 44" MEASURED IN THE DIRECTION OF TRAVEL WITH A WIDTH NOT LESS THAN THE DOOR BEING SERVED. DOORS SHALL BE READILY
- OPENABLE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE.

JAY

Date: 4/15/2024



WINDOW GENERAL NOTES

- A. ALL WINDOWS, WINDOW FINISHES, HARDWARE TYPES, HARDWARE FINISHES, FLOOR FINISHES, AND WALL FINISHES SHALL BE REVIEWED AND VERIFIED BY THE OWNER.
- B. REFER TO THE FLOOR PLANS FOR WINDOW LOCATIONS
- C. PROVIDE ORDER LIST TO OWNER AND ARCHITECT FOR APPROVAL
- D. SEE ENERGY COMPLIANCE MATERIALS FOR INSULATION VALUES E. VERIFY WINDOW MATERIAL AND STYLE WITH OWNER AND ARCHITECT
- PRIOR TO ORDERING.
- F. SEE ELEVATIONS FOR STYLE AND OR DIVIDED LITE PATTERN.
- G. SAFETY GLAZING IS REQUIRED PER IBC, IN FIXED OR OPERABLE PANELS WITHIN A 24" ARC OF EITHER A VERTICAL EDGE OF A DOOR AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE.
- SAFETY GLAZING IS ALSO REQUIRED IN GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN THOSE LOCATIONS DESCRIBED ABOVE THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
- 1. EXPOSED AREA OF THE INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
- 2. EXPOSED BOTTOM EDGE LESS THAT 18" ABOVE FLOOR.
- 3. EXPOSED TOP EDGE GREATER THAT 36" ABOVE FLOOR, AND
- 4. ONE ARE MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE PLANE OF THE GLAZING.
- I. EMERGENCY ESCAPE AND RESCUE OPENINGS: EVERY SLEEPING ROOM SHALL HAVE ONE OPERABLE ESCAPE OPENING. NET OPENING NOT LESS THAN 5.7 SQ. FT. NOT MORE THAN 44" OFF THE FLOOR. CLEAR HEIGHT 24" MIN., CLEAR WIDTH 20" MIN.

Issue:

AW COPY RIGHT AND OTHER PROPERTY RIGHTS FOR THESE LANS. THESE PLANS ARE NOT T BE REPRODUCED, CHANGED OF HATSOEVER. NOR ARE THEY BE ASSIGNED TO ANY THIRD RTY WITHOUT FIRST OBTAIN EXPRESS WRITTEN PERMISSION ID CONSENT FROM JAY CO

> ■ 1" ACTUAL IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING HAS BEEN ENLARGED OR LABELED SCALES.

REDUCED, AFFECTING ALL Scale: AS NOTED

A-601

SHEET 20 OF 20

Job: 2024-3

Drawn: