

The Inn at Ellsworth Estate

Remodel and Adaptive Re-Use

VICINITY MAP	BUILDING DATA	CONSULTANTS	SHEET INDEX
	<p>LEGAL DESCRIPTION: Hailey Replat Block 1 and 125 Lot 5 Block 1</p> <p>ADDRESS: 702 S. 3rd Ave. Hailey ID</p> <p>PARCEL NUMBER: RPH00001250050</p> <p>ZONING: _ General Residential (GR) Townsite Overlay District (TO)</p> <p>BLDG USE: Multi-Family</p> <p>OCC. GROUPS: R-2 AND B</p> <p>CONST. TYPE: VB, Non rated</p> <p>SQUARE FOOTAGE: First = 2,195 sq. ft. Second = 1,600 sq. ft. Third = 1,350 sq. ft. TOTAL = 5,145 sq. ft.</p> <p>LOT AREA: 31,132.14 Sq. Ft.</p> <p>MAX. HT.: Per TO 30' in TO District 35'-2 1/4" Estimated</p> <p>SETBACKS: Per TO Street (Front Rear) = 12' Other Property = 15% of Lot Width, 10' Min. One Foot for Every Two Feet and One Half Feet in Height Not Less Than 10'</p> <p>LOT COVERAGE: Per TO 40% Allowed 8.9% Actual</p> <p>PARKING: Parking for single family may be gravel. Parking shall be lit. Stacked parking allowed. Parking areas shall be screened. Multi-family dwellings 1.5 spaces per dwelling. Single family dwellings 2 per dwelling, allowed in garges. Office 1 space per 1,000 sq. ft.</p> <p>CLIMATE ZONE: 6 per 2018 IECC</p> <p>BLDG. CODE: 2018 IEBC</p> <p>JURISDICTION: City of Hailey Idaho</p>	<p>ARCHITECT: Jay Cone Architecture PC Jay Cone AIA 651 El Dorado Lane Hailey, Idaho 83333 208-578-5226</p> <p>STRUCTURAL ENGINEER: Kore Four Markell Bateman P.E. 1020 Lincoln Road Idaho Falls, Idaho 83401 208-227-8404</p> <p>CIVIL ENGINEERING: Opal Engineering, PLLC Samantha Stahlnecker P.E. Suite 204 Hailey, Idaho 83333 208-720-9608</p> <p>SURVEYING: Galena Benchmark Engineering Inc. David Patrie P.E. 100 Bell Drive Suite C Ketchum, Idaho 83340 208-726-9512</p>	<p>GENERAL DRAWINGS</p> <p>G-001 COVER SHEET G-002 SCOPE OF WORK / GENERAL NOTES G-003 ACCESSIBILITY DETAILS G-004 FIRST FLOOR CODE COMPLIANCE / NOTES G-005 SECOND / THIRD FLOOR CODE COMPLIANCE</p> <p>FLOOR PLANS</p> <p>A-100 BASEMENT PLAN A-101 FIRST FLOOR PLAN A-102 SECOND FLOOR PLAN A-103 THIRD FLOOR PLAN</p> <p>DEMOLITION PLANS</p> <p>A-111 BASEMENT PLAN - DEMOLITION A-112 FIRST FLOOR PLAN - DEMOLITION A-113 SECOND FLOOR PLAN - DEMOLITION A-114 THIRD FLOOR PLAN - DEMOLITION</p> <p>ROOF PLANS</p> <p>A-121 ROOF PLAN A-122 ROOF PLAN - DEMOLITION</p> <p>EXTERIOR ELEVATIONS</p> <p>A-201 EXTERIOR ELEVATIONS A-202 EXTERIOR ELEVATIONS</p> <p>ENLARGED PLANS</p> <p>A-401 NEW STAIR ENCLOSURE A-402 ALTERNATE STEEL STAIRS</p> <p>DOORS & WINDOWS</p> <p>A-601 DOOR WINDOW SCHEDULES</p>
SYMBOLS			
<div style="display: flex; justify-content: space-between;"> <div style="text-align: center;"> <p>#DrgID #LayID</p> </div> <div style="text-align: left;"> <p>DRAWING ID SECTION MARKER LAYOUT ID</p> </div> </div> <div style="display: flex; justify-content: space-between; margin-top: 20px;"> <div style="text-align: center;"> <p>1</p> </div> <div style="text-align: left;"> <p>GRID BUBBLE</p> </div> </div> <div style="display: flex; justify-content: space-between; margin-top: 20px;"> <div style="text-align: center;"> <p>007</p> </div> <div style="text-align: left;"> <p>DOOR MARKER</p> </div> </div> <div style="display: flex; justify-content: space-between; margin-top: 20px;"> <div style="text-align: center;"> <p>05</p> </div> <div style="text-align: left;"> <p>WINDOW MARKER</p> </div> </div> <div style="display: flex; justify-content: space-between; margin-top: 20px;"> <div style="text-align: center;"> <p>#DrgID #LayID</p> </div> <div style="text-align: left;"> <p>DRAWING ID INTERIOR ELEVATION MARKER LAYOUT ID</p> </div> </div> <div style="display: flex; justify-content: space-between; margin-top: 20px;"> <div style="text-align: center;"> <p>#DrgID #LayID</p> </div> <div style="text-align: left;"> <p>DRAWING ID LAYOUT ID DETAIL MARKER / ENLARGED PLAN MARKER</p> </div> </div>			

Date:
4/15/2024

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ARCHITECT
#48381
April 14, 2024
JAY W. CONE
STATE OF IOWA

ARCH
The Inn at
Ellsworth Estate

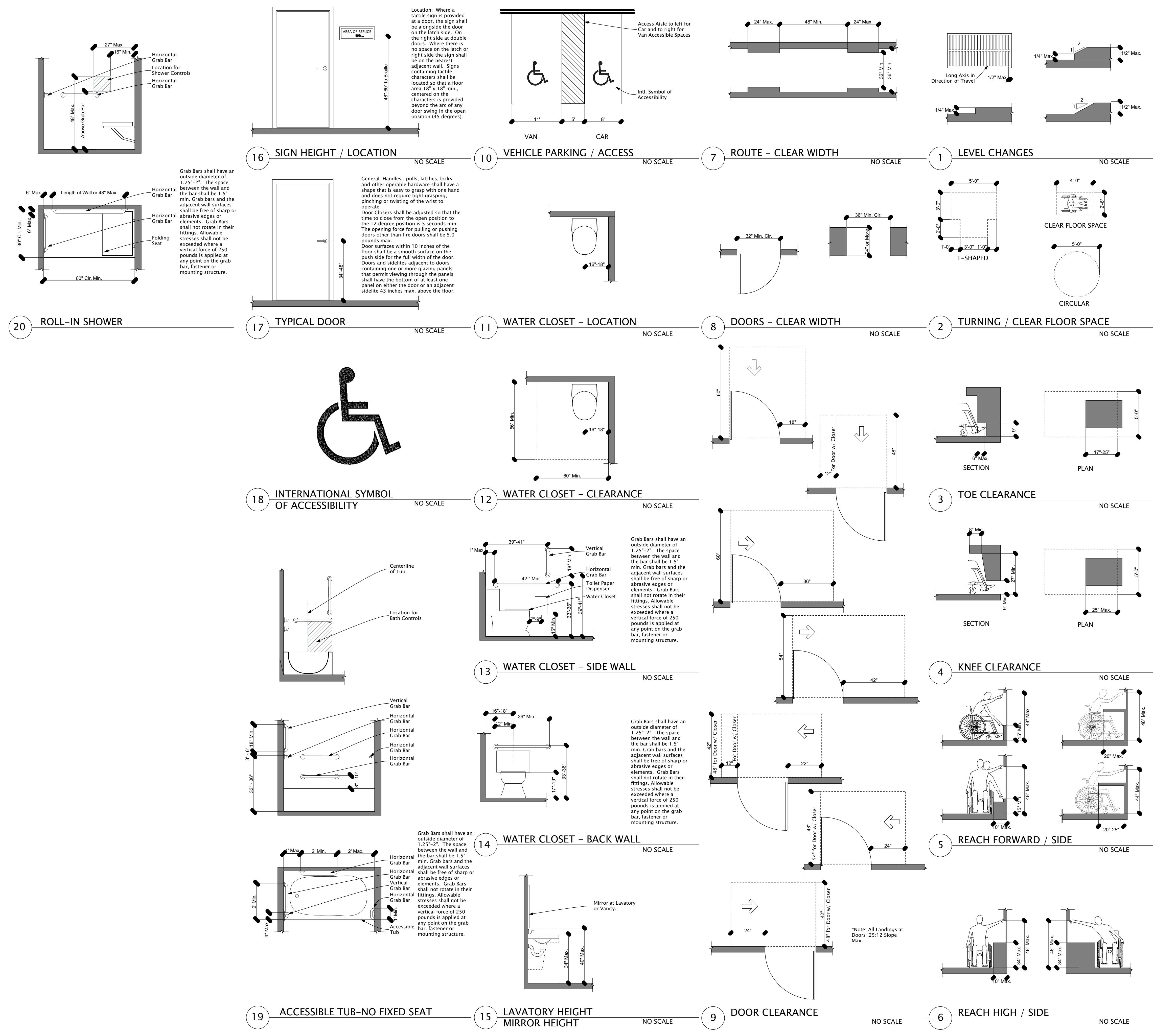
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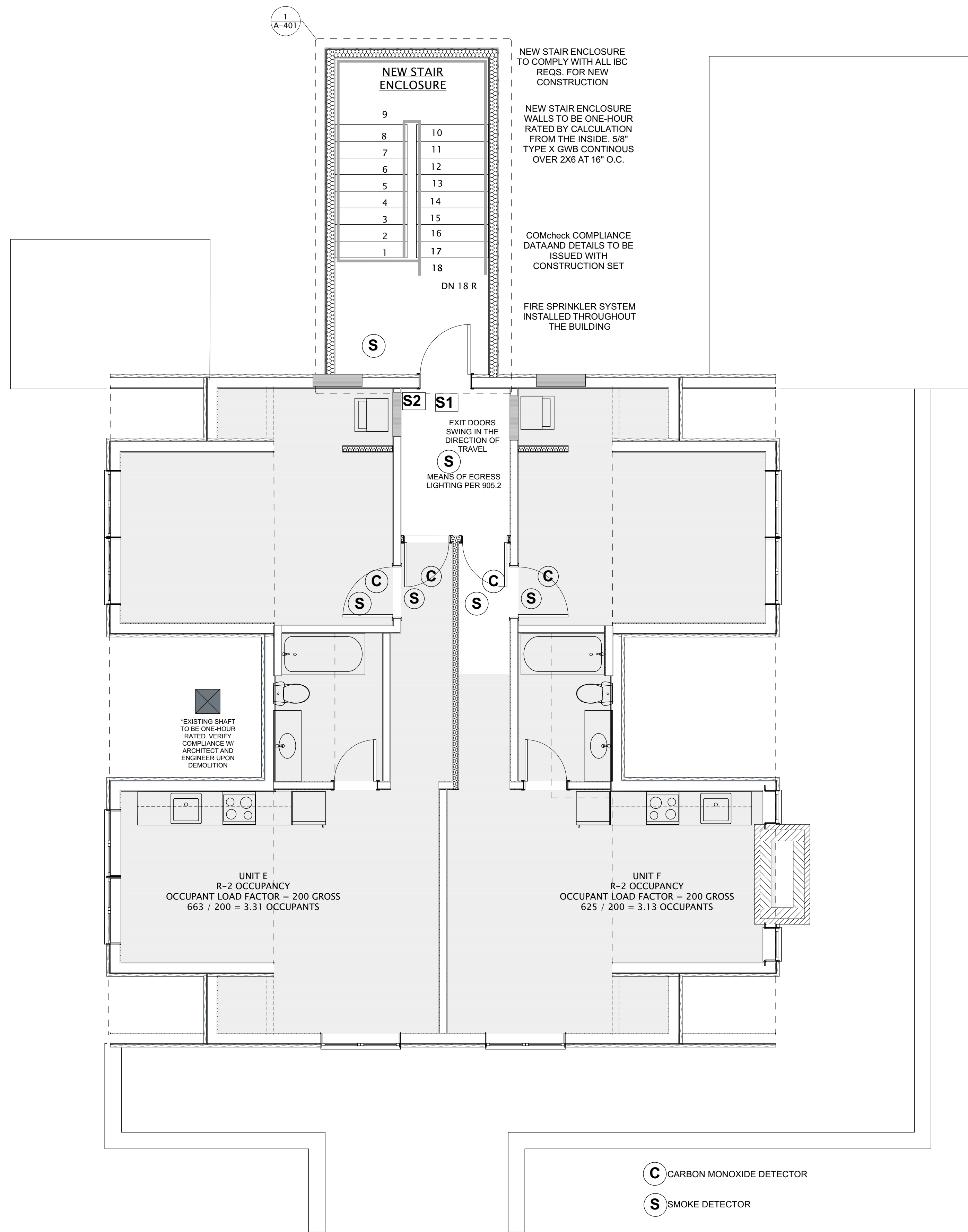
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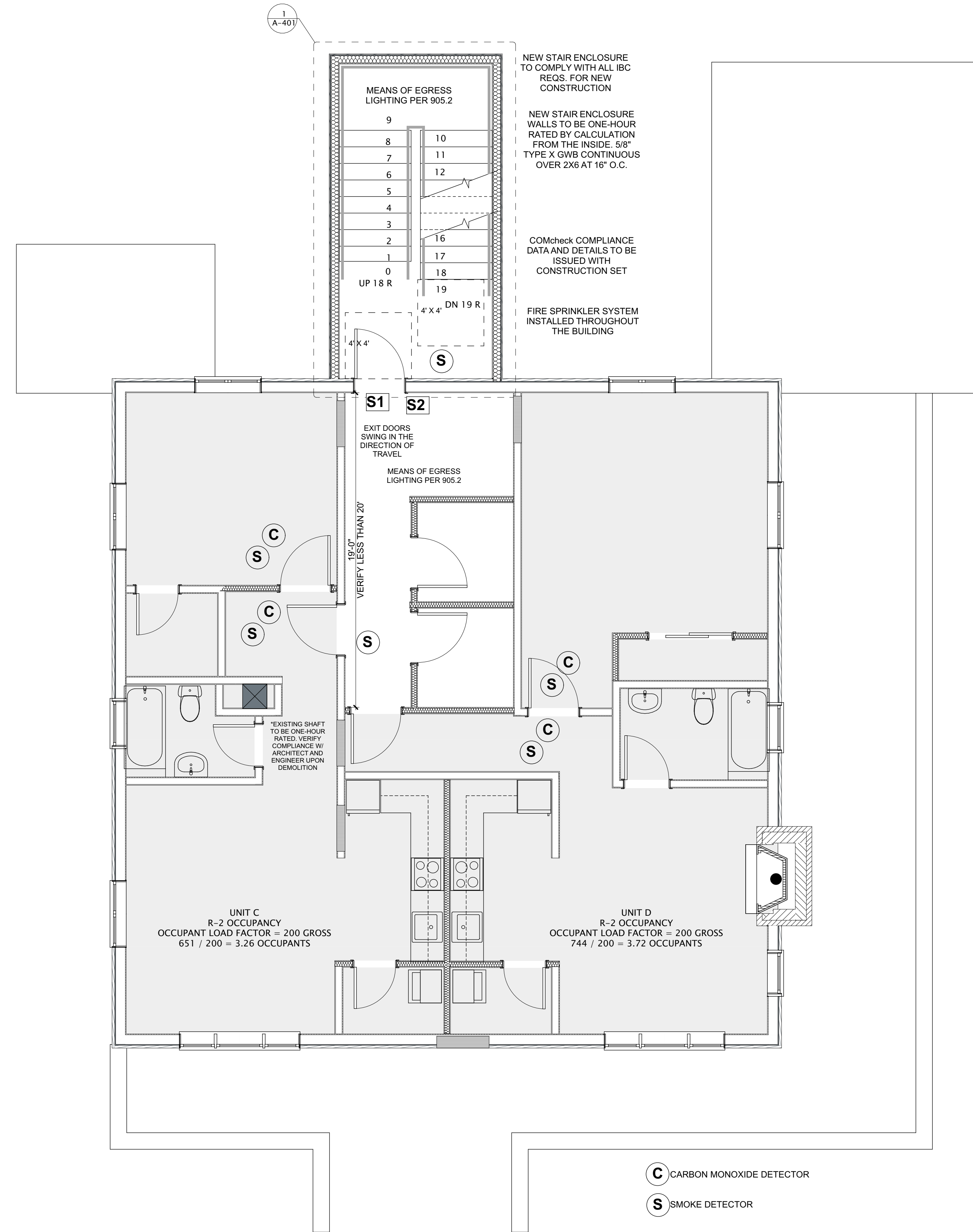
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G-003





2 THIRD FLOOR CODE COMPLIANCE
SCALE: 1/4" = 1'-0"



1 SECOND FLOOR CODE COMPLIANCE
SCALE: 1/4" = 1'-0"

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ARCH The Inn at Ellsworth Estate

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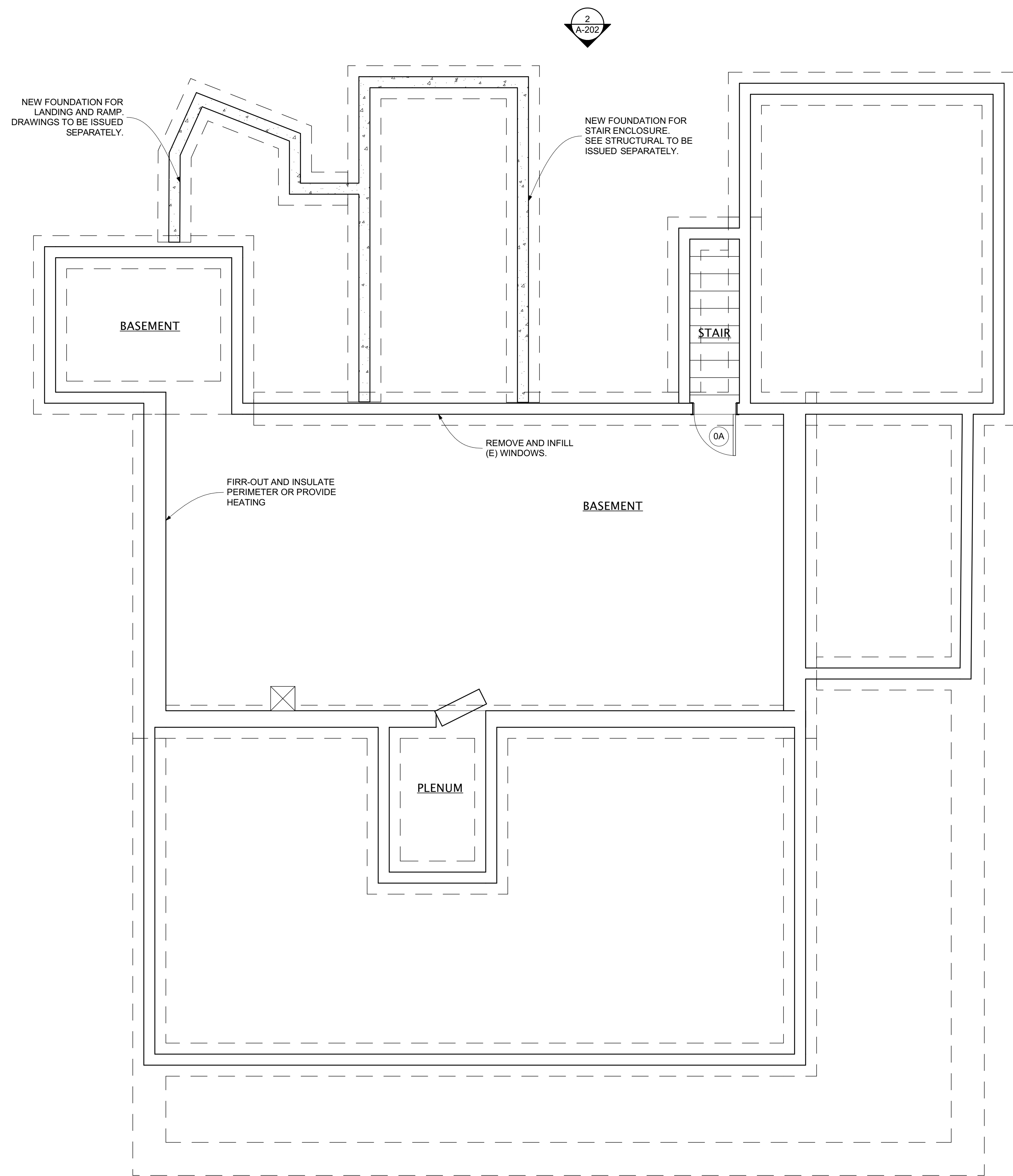
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G-005

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FLOOR PLAN GENERAL NOTES

- A. ALL DIMENSIONS ARE SHOWN TO THE FACE OF WALL FRAMING UNLESS SPECIFICALLY NOTED OTHERWISE
- B. HINGE SIDE OF DOOR SHALL BE LOCATED 6" TO INSIDE CORNER OF INTERSECTING WALLS FOR NEW DOORS UNLESS SPECIFICALLY NOTED OTHERWISE
- C. INFILL WALLS WITH FRAMING AS REQUIRED, INSULATION AND REPAIR / REPLACE SIDING OR INTERIOR WALL FINISH TO MATCH EXISTING.
- D. SEE CODE COMPLIANCE PLAN FOR CODE SPECIFIC LIGHTING AND OTHER REQUIREMENTS.
- E. SEE ACCESSIBILITY DETAILS SHEET FOR SPECIFIC CRITERIA FOR REQUIRED ACCESSIBLE THRESHOLDS, REACH RANGES FOR REQUIRED ACCESSIBLE CONTROLS ETC.

FLOOR PLAN REFERENCE NOTES

- 1 REMOVE DOOR, INFILL OPENING
- 2 SMALLER WINDOW OPENING
- 3 REVISED OR RELOCATED OPENING WITH NEW DOOR.
- 4 VERIFY WALL AS EXTERIOR. ADD INSULATION, SIDING ETC. AS REQUIRED
- 5 EXPOSE CHASE DURING DEMOLITION FOR VERIFICATION OF CODE COMPLIANCE/USE BY ARCHITECT, ENGINEER AND CONTRACTOR
- 6 REMOVE DOOR, NEW CASER OPENING
- 7 INFILL EXISTING OPENING
- 8 REMOVE WINDOW, INFILL OPENING
- 9 REMOVE STAIR, INFILL OPENING. NOTIFY ARCHITECT AND ENGINEER FOR FIELD INSPECTION AND DESIGN OF NEW FLOOR SYSTEM AND OTHER FRAMING MEMBERS

DIMENSIONED PLAN GENERAL NOTES

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A-100
 SHEET 6 OF 20

1 FOUNDATION / BASEMENT PLAN
 SCALE: 1/4" = 1'-0"

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FLOOR PLAN GENERAL NOTES

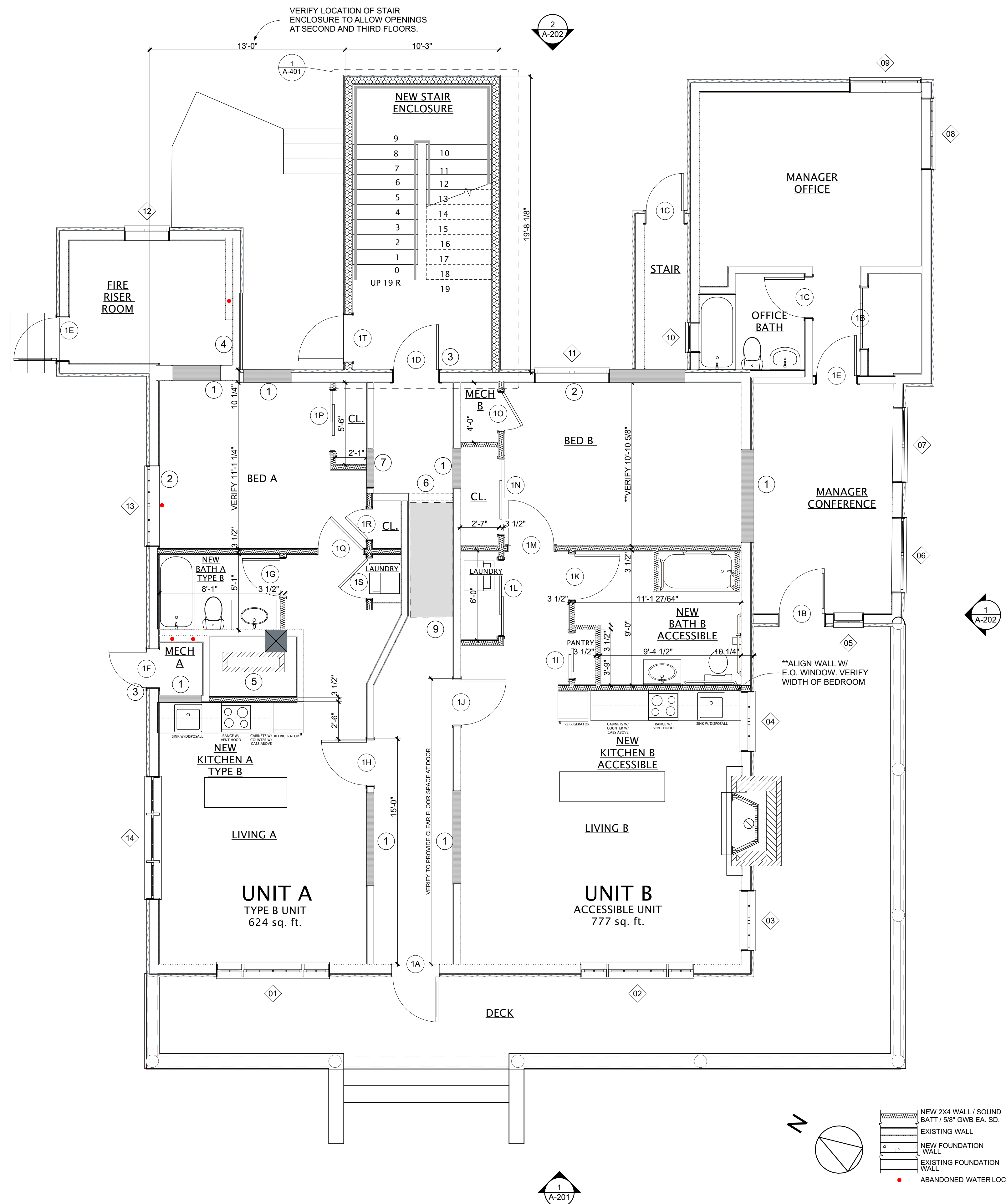
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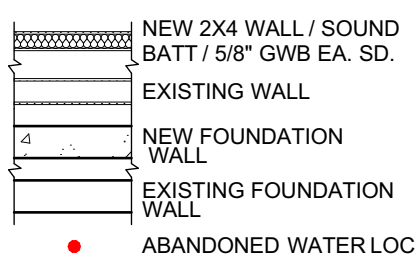
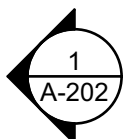
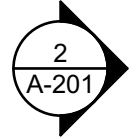
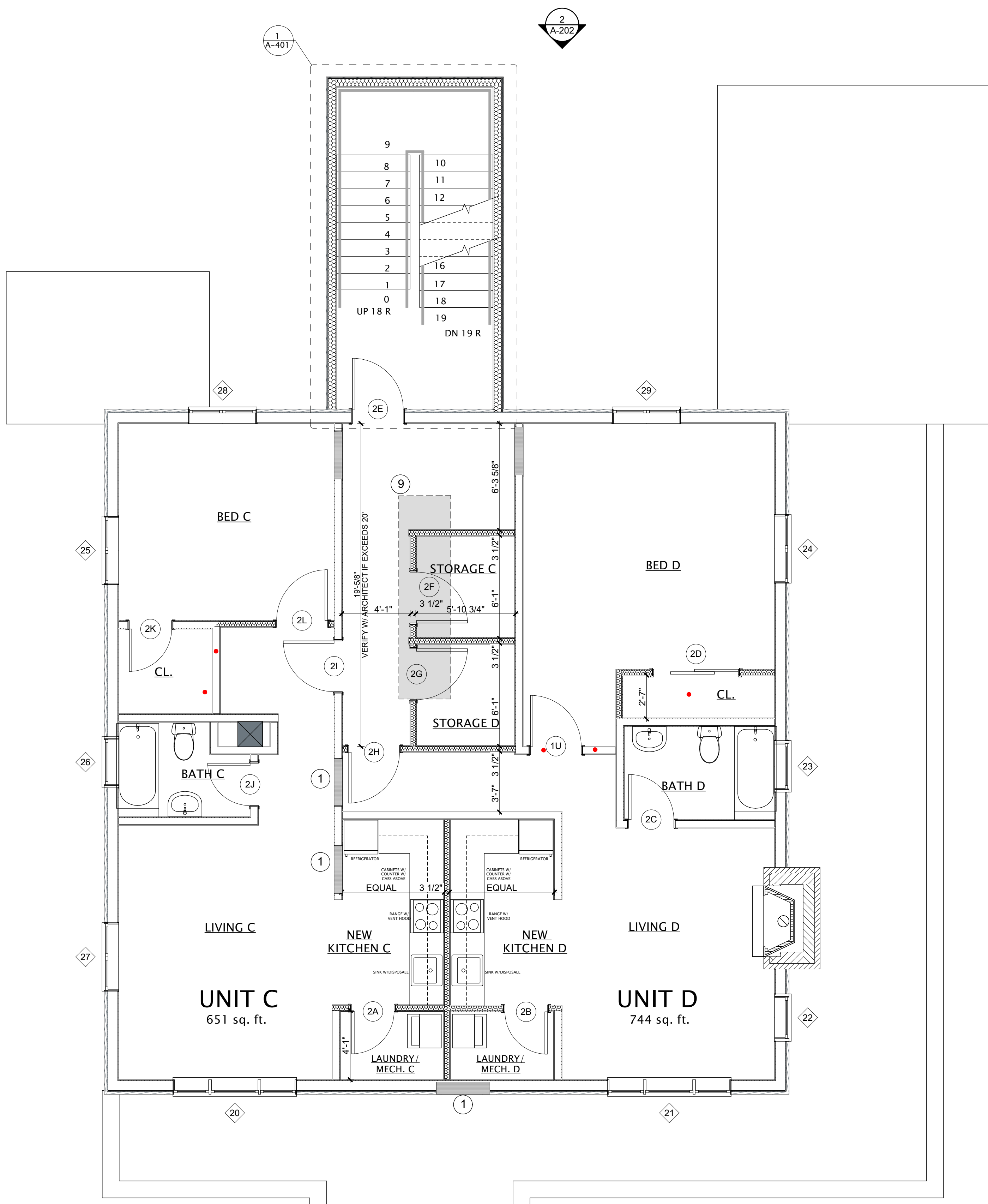
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1 FIRST FLOOR PLAN - NOTES
 SCALE: 1/4" = 1'-0"

NEW 2X4 WALL / SOUND BATT / 5/8" GWB EA. SD.
 EXISTING WALL
 NEW FOUNDATION WALL
 EXISTING FOUNDATION WALL
 ABANDONED WATER LOC.



1

SECOND FLOOR PLAN - NOTES

SCALE: 1/4" = 1'-0"

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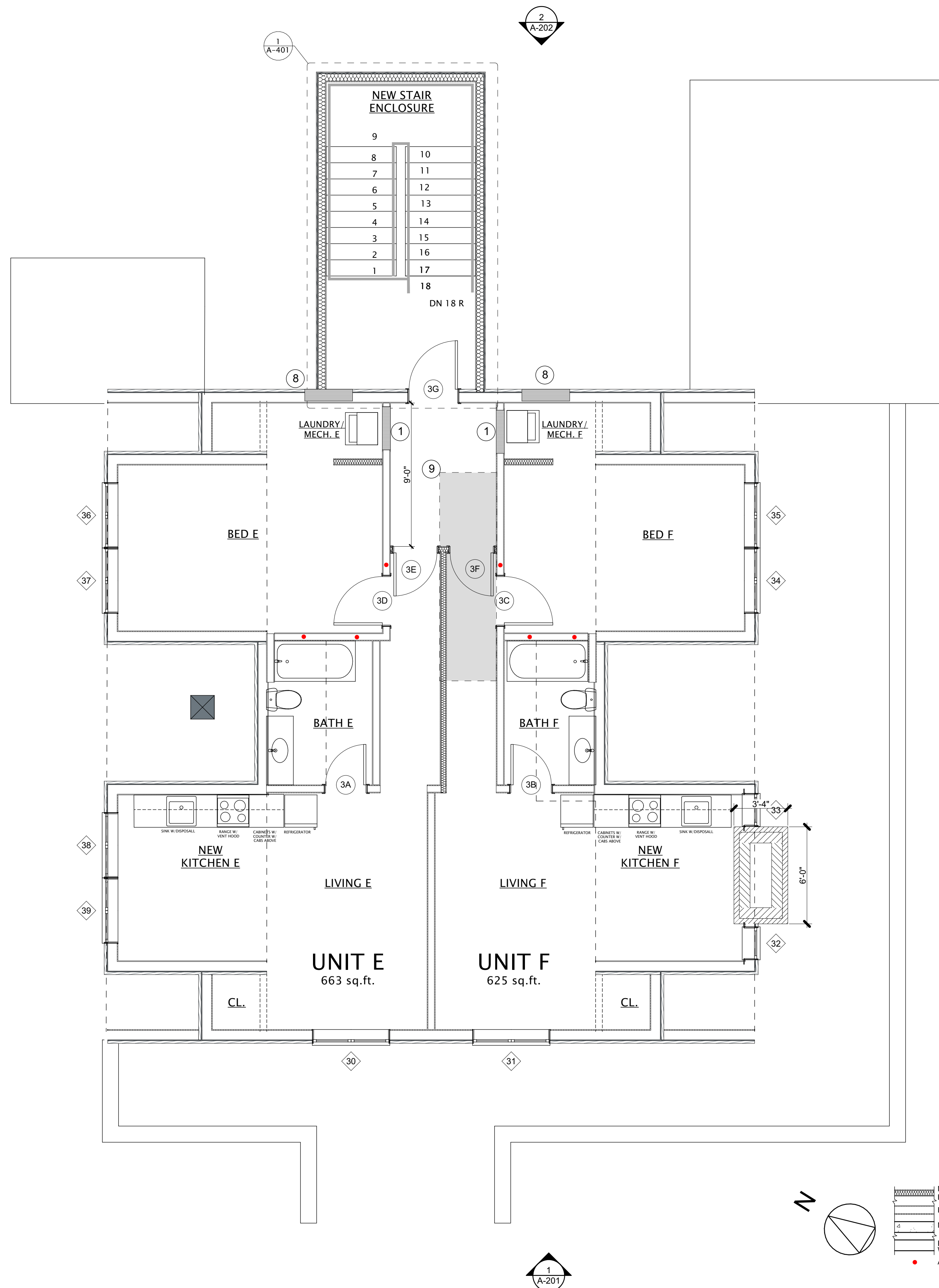
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1 THIRD FLOOR PLAN - NOTES
SCALE: 1/4" = 1'-0"

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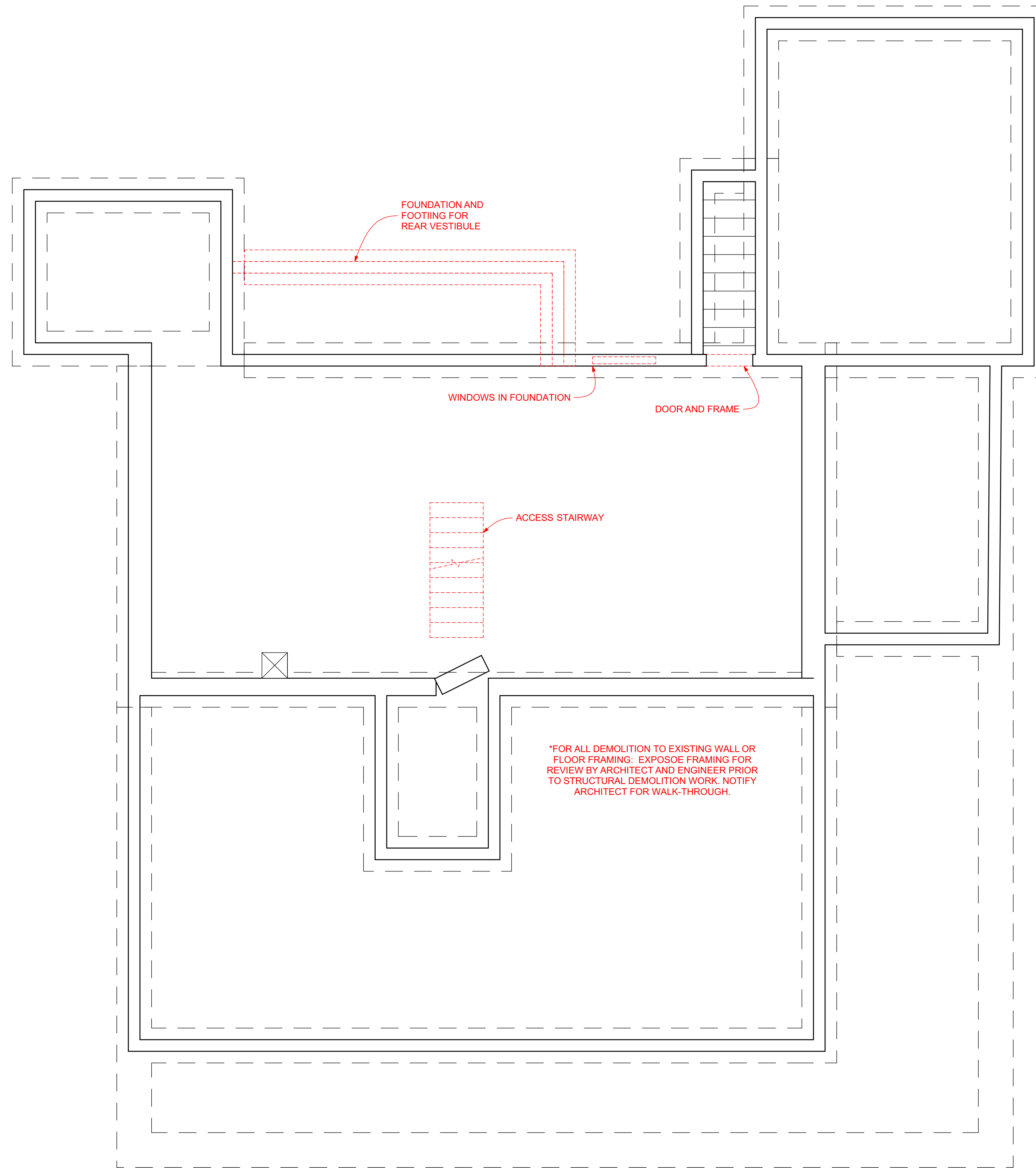
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A-103

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DEMOLITION PLAN GENERAL NOTES

- A. WORK AREA LIMITS SHALL BE CONFINED TO REASONABLE BOUNDARIES NEEDED FOR COMPLETION OF THE WORK.
- B. EXISTING ELEMENTS TO BE DEMOLISHED ARE SHOWN IN RED LINES. EXTENT OF DEMOLITION TO BE REVIEWED WITH ARCHITECT PRIOR TO DEMOLITION WORK.
- C. DURING DEMOLITION, IF CONDITIONS ARE DISCOVERED THAT VARY FROM ASSUMED CONDITIONS, CONTRACTOR SHALL NOTIFY ARCHITECT.
- D. ALL EXISTING TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION TO MINIMIZE POTENTIAL DAMAGE DURING DEMOLITION AND CONSTRUCTION ACTIVITIES.
- E. ITEMS SHOWN OR DESCRIBED TO BE RE-USED SHALL BE REMOVED CAREFULLY AND PROTECTED TO ALLOW REINSTALLATION AFTER REPAIR.
- F. TAKE CARE DURING DEMOLITION TO PREVENT DAMAGE TO EXISTING BUILDING ELEMENTS TO REMAIN.
- G. SAWCUTTING AND SLAB REMOVAL IS REQUIRED THROUGH THE FULL SLAB THICKNESS.
- H. DEMOLITION PLANS SHOW GENERAL AREAS AND FEATURES TO BE DEMOLISHED. CONTRACTOR TO DETERMINE COMPLETE EXTENT OF DEMOLITION.



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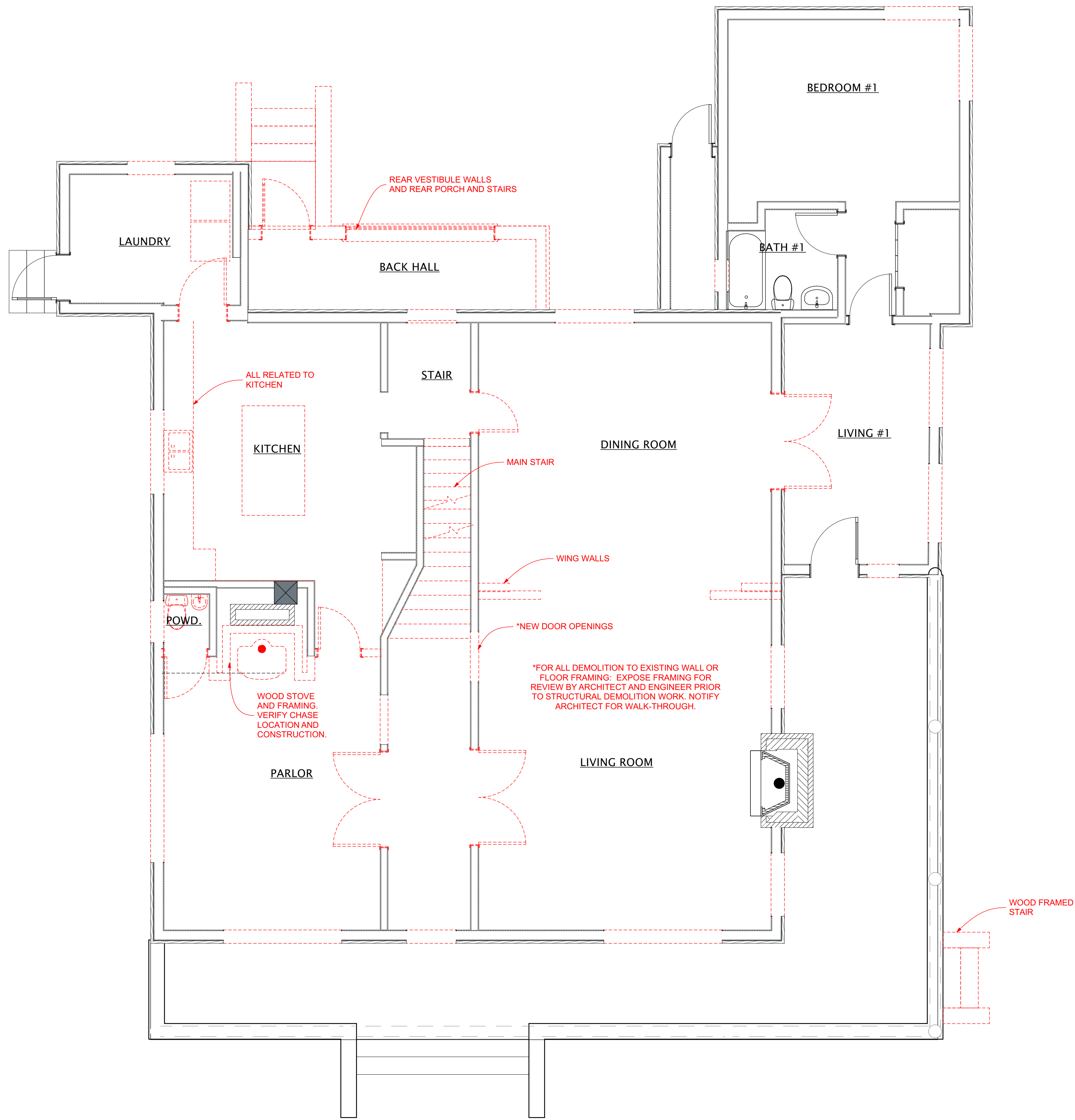
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Job: 2024-3

A-111

SHEET 10 OF 20

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1 BASEMENT PLAN - DEMOLITION
SCALE: 1/4" = 1'-0"



DEMOLITION PLAN GENERAL NOTES

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JAY CONE ARCHITECTURE PC AIA
 208.578.5226
 jcone@jayconearchitecture.com
 www.jayconearchitecture.com

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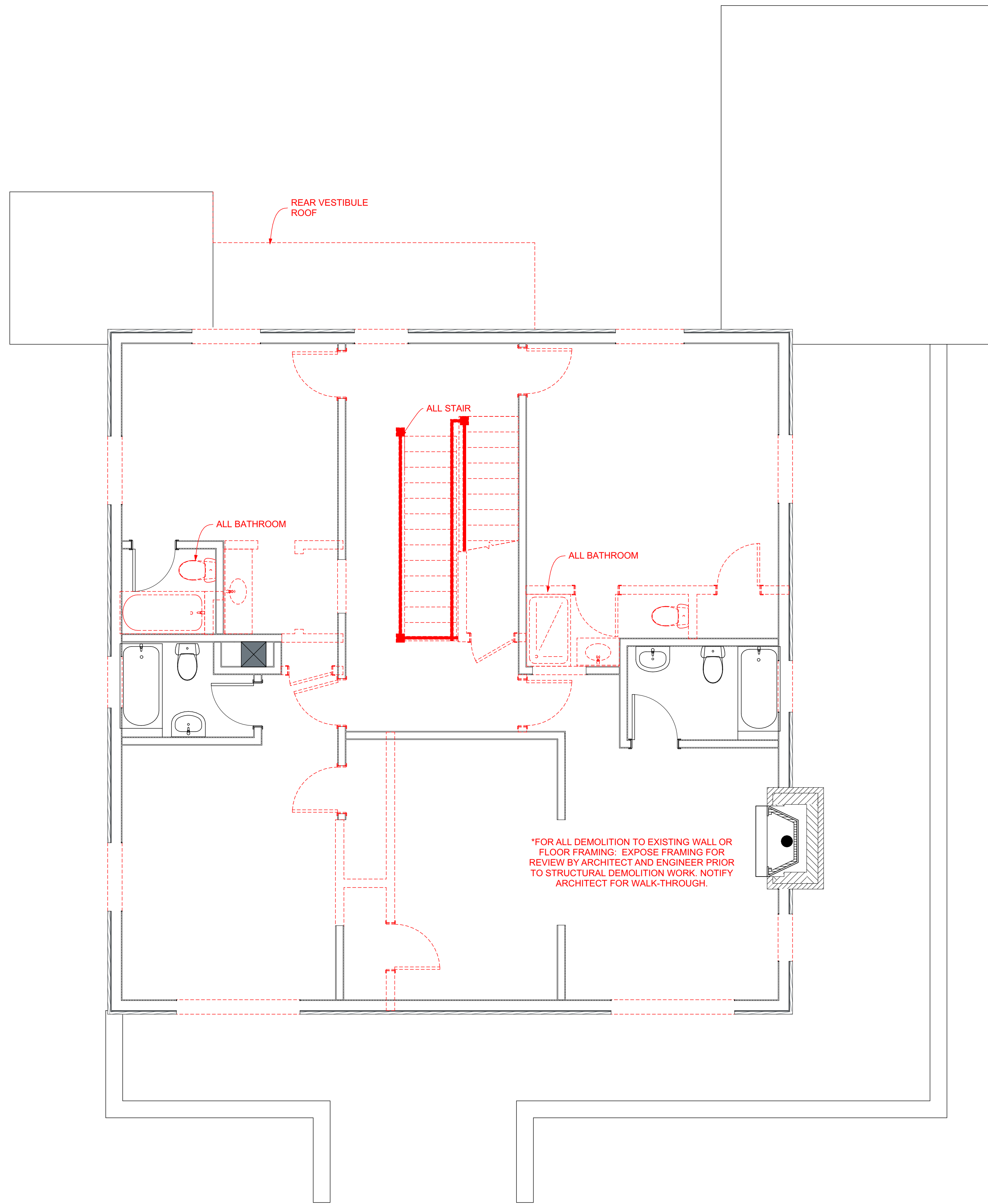
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A-112
 SHEET 11 OF 20

1 FIRST FLOOR PLAN - DEMOLITION
 SCALE: 1/4" = 1'-0"

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DEMOLITION PLAN GENERAL NOTES

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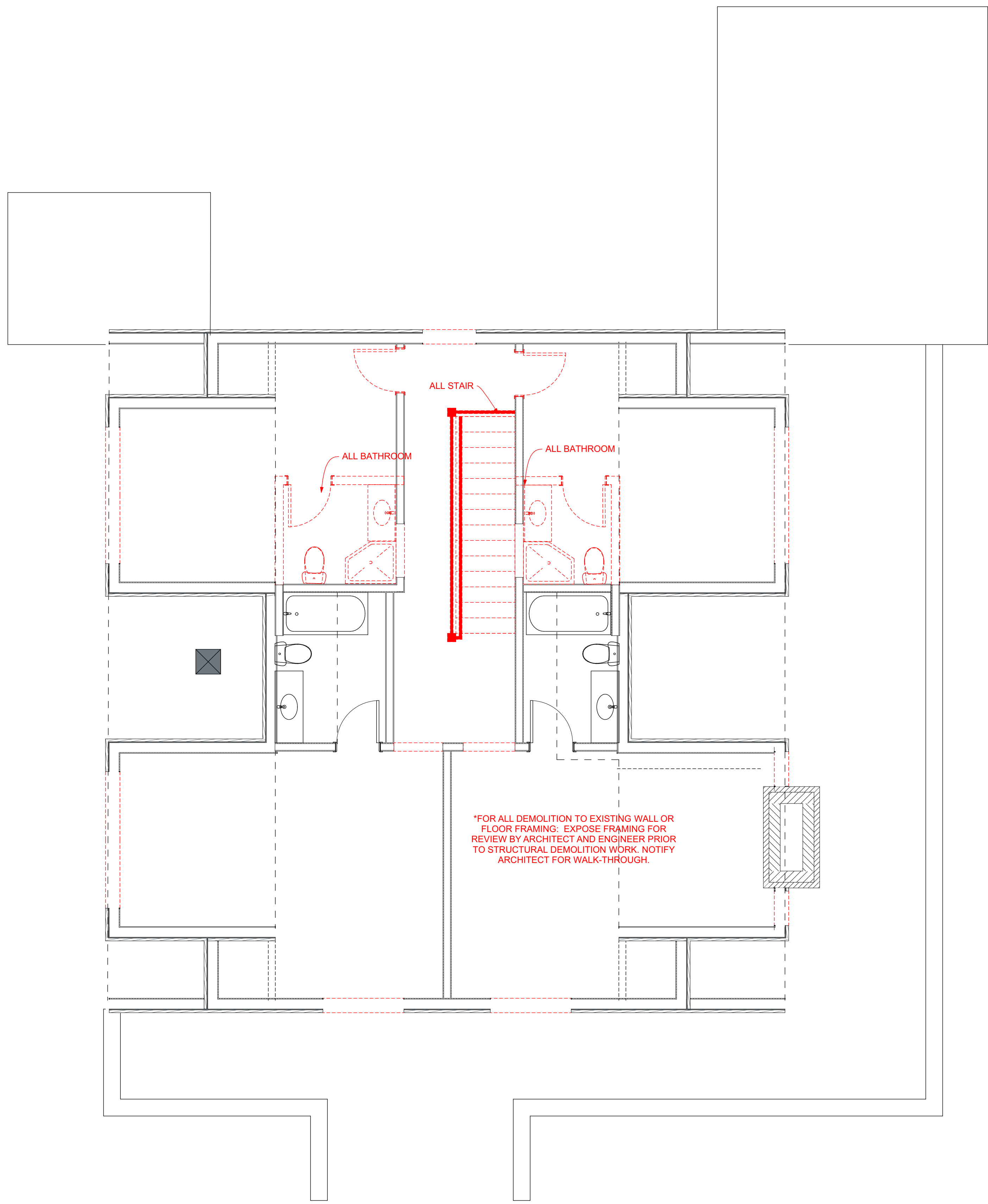
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Job: 2024-3

A-113

1 SECOND FLOOR PLAN - DEMOLITION
SCALE: 1/4" = 1'-0"

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DEMOLITION PLAN GENERAL NOTES

- A. WORK AREA LIMITS SHALL BE CONFINED TO REASONABLE BOUNDARIES NEEDED FOR COMPLETION OF THE WORK.
- B. EXISTING ELEMENTS TO BE DEMOLISHED ARE SHOWN IN RED LINES. EXTENT OF DEMOLITION TO BE REVIEWED WITH ARCHITECT PRIOR TO DEMOLITION WORK.
- C. DURING DEMOLITION, IF CONDITIONS ARE DISCOVERED THAT VARY FROM ASSUMED CONDITIONS, CONTRACTOR SHALL NOTIFY ARCHITECT.
- D. ALL EXISTING TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION TO MINIMIZE POTENTIAL DAMAGE DURING DEMOLITION AND CONSTRUCTION ACTIVITIES.
- E. ITEMS SHOWN OR DESCRIBED TO BE RE-USED SHALL BE REMOVED CAREFULLY AND PROTECTED TO ALLOW REINSTALLATION AFTER REPAIR.
- F. TAKE CARE DURING DEMOLITION TO PREVENT DAMAGE TO EXISTING BUILDING ELEMENTS TO REMAIN.
- G. SAWCUTTING AND SLAB REMOVAL IS REQUIRED THROUGH THE FULL SLAB THICKNESS.
- H. DEMOLITION PLANS SHOW GENERAL AREAS AND FEATURES TO BE DEMOLISHED. CONTRACTOR TO DETERMINE COMPLETE EXTENT OF DEMOLITION.

JAY CONE ARCHITECTURE P.C. AIA
 208.578.5226
 jcone@jayconearchitecture.com
 www.jayconearchitecture.com

Date:
4/15/2024

Seal:

LICENSED ARCHITECT
A-114

April 14, 2024

ARCH
 The Inn at
 Ellsworth Estate

Issue:
RFP

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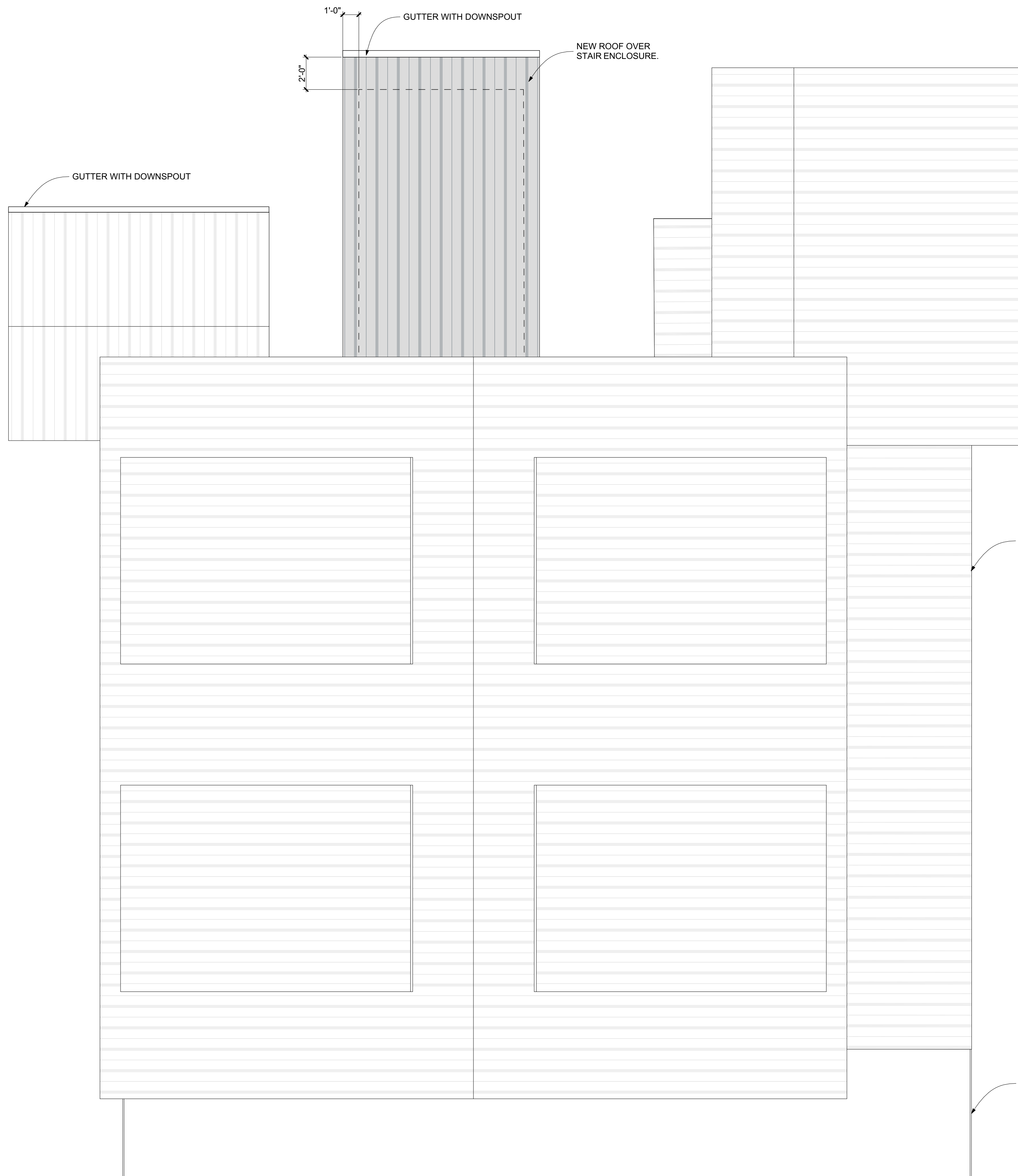
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A-114

1 THIRD FLOOR PLAN - DEMOLITION
 SCALE: 1/4" = 1'-0"

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ROOF PLAN GENERAL NOTES

- A. VERIFY LOCATION OF ALL GUTTERS AND DOWNSPOUTS W/ ARCHITECT. ALL DOWNSPOUTS AND GUTTERS TO HAVE HEAT TAPE. HEAT TAPE TO EXTEND TO DRYWELLS OR DAYLIGHT.
- B. REPLACEMENT ROOF TO INCLUDE CONTINUOUS ICE AND WATER SHIELD. REMOVE EXISTING ROOF AND SUBSTRATES COMPLETELY TO EXPOSE SHEATHING.
- C. ROOFING MATERIAL TO BE APPROVED BY ARCHITECT.

Date:
4/15/2024



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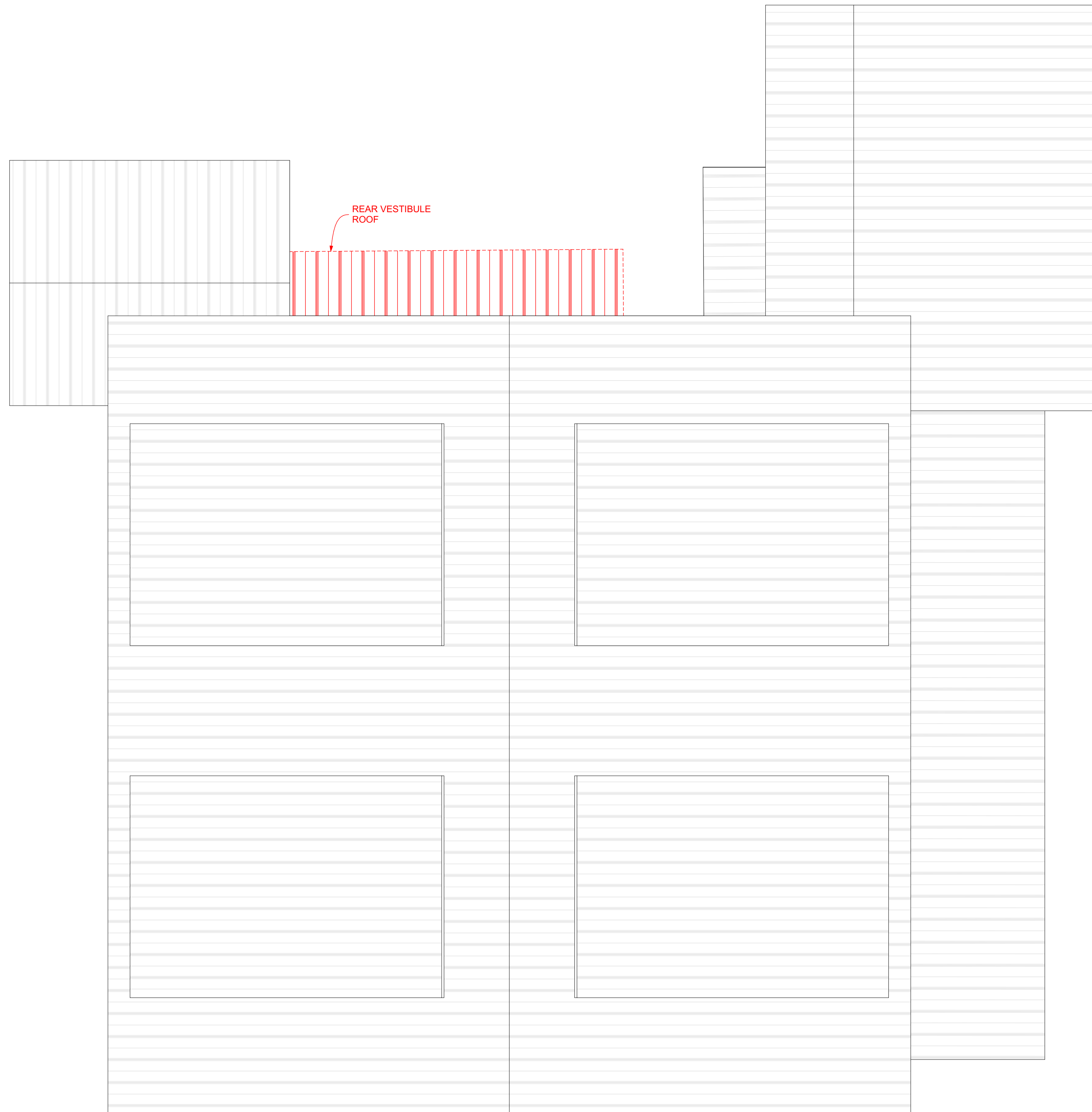
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A-121

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DEMOLITION PLAN GENERAL NOTES

- A. WORK AREA LIMITS SHALL BE CONFINED TO REASONABLE BOUNDARIES NEEDED FOR COMPLETION OF THE WORK.
- B. EXISTING ELEMENTS TO BE DEMOLISHED ARE SHOWN IN RED LINES. EXTENT OF DEMOLITION TO BE REVIEWED WITH ARCHITECT PRIOR TO DEMOLITION WORK.
- C. DURING DEMOLITION, IF CONDITIONS ARE DISCOVERED THAT VARY FROM ASSUMED CONDITIONS, CONTRACTOR SHALL NOTIFY ARCHITECT.
- D. ALL EXISTING TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION TO MINIMIZE POTENTIAL DAMAGE DURING DEMOLITION AND CONSTRUCTION ACTIVITIES.
- E. ITEMS SHOWN OR DESCRIBED TO BE RE-USED SHALL BE REMOVED CAREFULLY AND PROTECTED TO ALLOW REINSTALLATION AFTER REPAIR.
- F. TAKE CARE DURING DEMOLITION TO PREVENT DAMAGE TO EXISTING BUILDING ELEMENTS TO REMAIN.
- G. SAWCUTTING AND SLAB REMOVAL IS REQUIRED THROUGH THE FULL SLAB THICKNESS.
- H. DEMOLITION PLANS SHOW GENERAL AREAS AND FEATURES TO BE DEMOLISHED. CONTRACTOR TO DETERMINE COMPLETE EXTENT OF DEMOLITION.



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A-122

SHEET 15 OF 20

1 ROOF PLAN - DEMOLITION
SCALE: 1/4" = 1'-0"

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BUILDING ELEVATION GENERAL NOTES

- A. VERIFY T.O. SUBFLOOR TO GRADE HEIGHT.
- B. FLOOR TO FLOOR HEIGHTS FOR STAIR CONSTRUCTION TO BE DETERMINED AFTER INTERIOR DEMOLITION.
- B. ALL FACIA, TRIM FLASHING AND STANDARD DETAILS TO MATCH EXISTING.
- C. VERIFY LOG SIDING SIZE, DETAILS AND FINISH TO MATCH EXISTING WHERE INFILL OR REPLACEMENT IS REQUIRED.



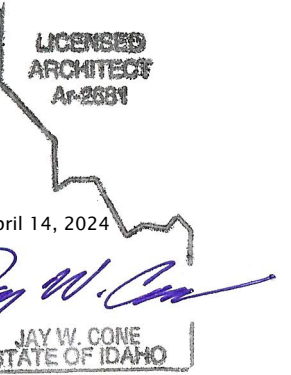
1 WEST ELEVATION
SCALE: 3/16" = 1'-0"



2 NORTH ELEVATION
SCALE: 3/16" = 1'-0"

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A-201

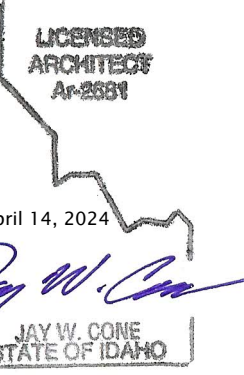
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BUILDING ELEVATION GENERAL NOTES

- A. VERIFY T.O. SUBFLOOR TO GRADE HEIGHT.
- B. FLOOR TO FLOOR HEIGHTS FOR STAIR CONSTRUCTION TO BE DETERMINED AFTER INTERIOR DEMOLITION.
- B. ALL FACIA, TRIM FLASHING AND STANDARD DETAILS TO MATCH EXISTING.
- C. VERIFY LOG SIDING SIZE, DETAILS AND FINISH TO MATCH EXISTING WHERE INFILL OR REPLACEMENT IS REQUIRED.

Date:
4/15/2024

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1 SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"



2 EAST ELEVATION
 SCALE: 3/16" = 1'-0"

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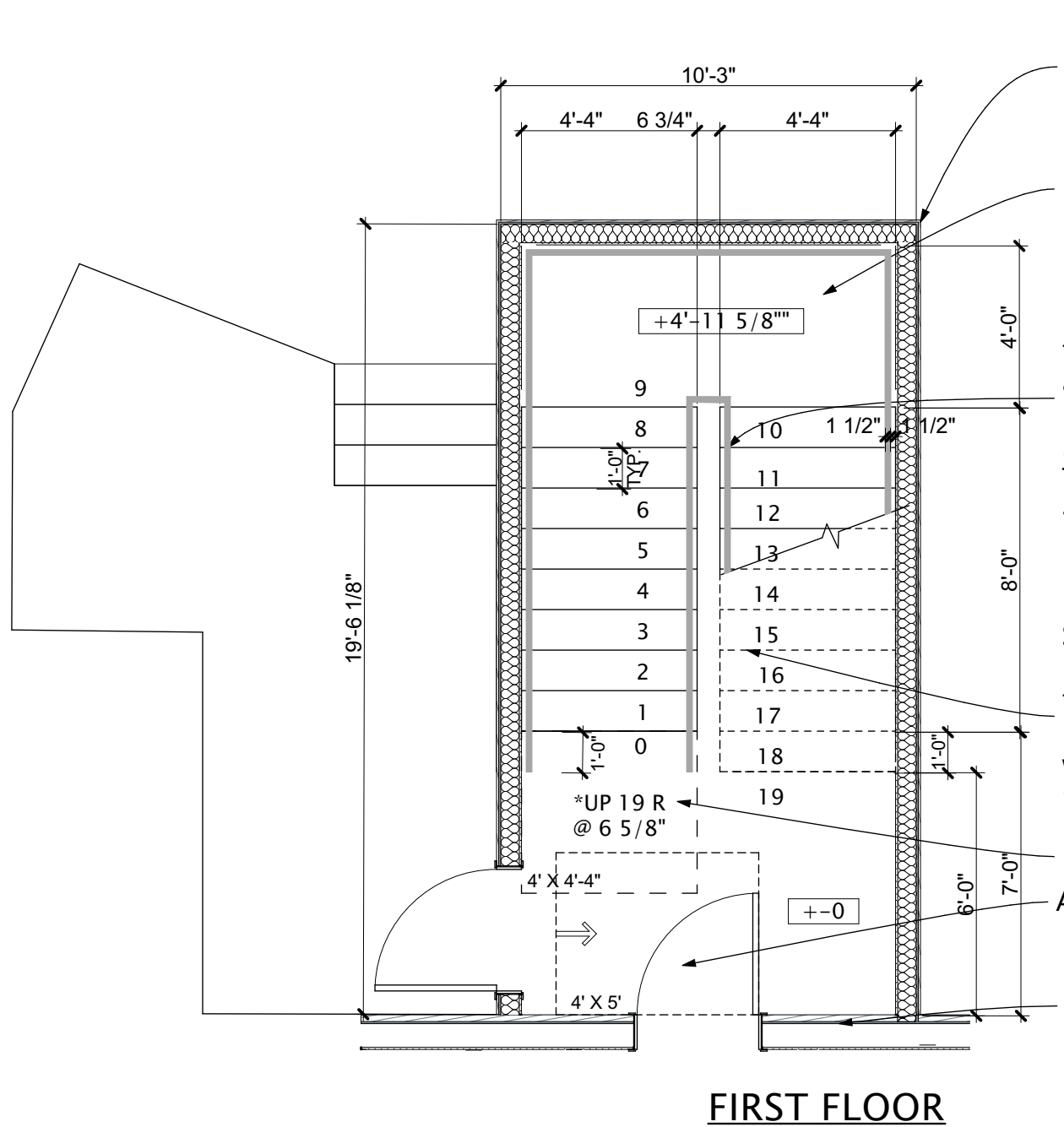
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A-202



One-hour rated wall for fire exposure from the inside. 5/8" Type-X GWB continuous at interior.

Head height above risers 6'-8" minimum.

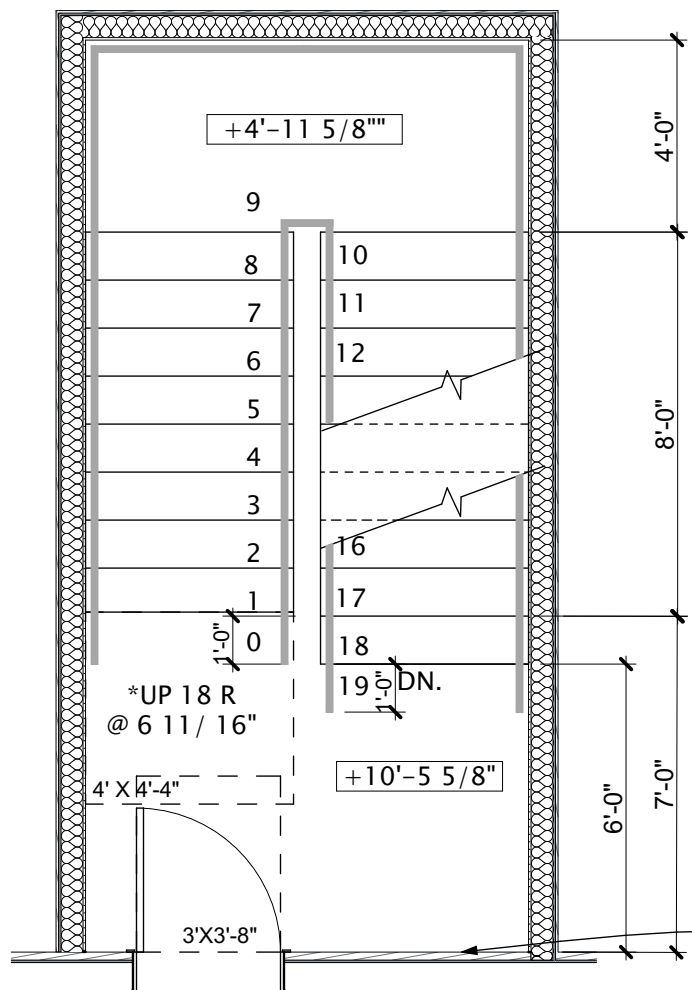
Handrail 1 1/4" - 2" in diameter, 34"-38" above nosing of stair treads, 1 1/2" min. clear to wall finish. Rail to be continuous from top to bottom at both sides of stair extending 1' past the top riser and extending on slope for 1' past the bottom riser. Total projection of rail not to exceed 4" each side. Verify 44" between handrails minimum.

Stair Risers 7" Max. height with a minimum tead depth of 11". Treads to be covered with a slip resistant material. Nosings on solid risers with curvature not greater than 9 /16"

IBC Landing
ADA Clear Area

One-hour rated wall for fire exposure from the inside. 5/8" Type-X GWB continuous at existing exterior wall within the enclosure. Remove siding to apply GWB.

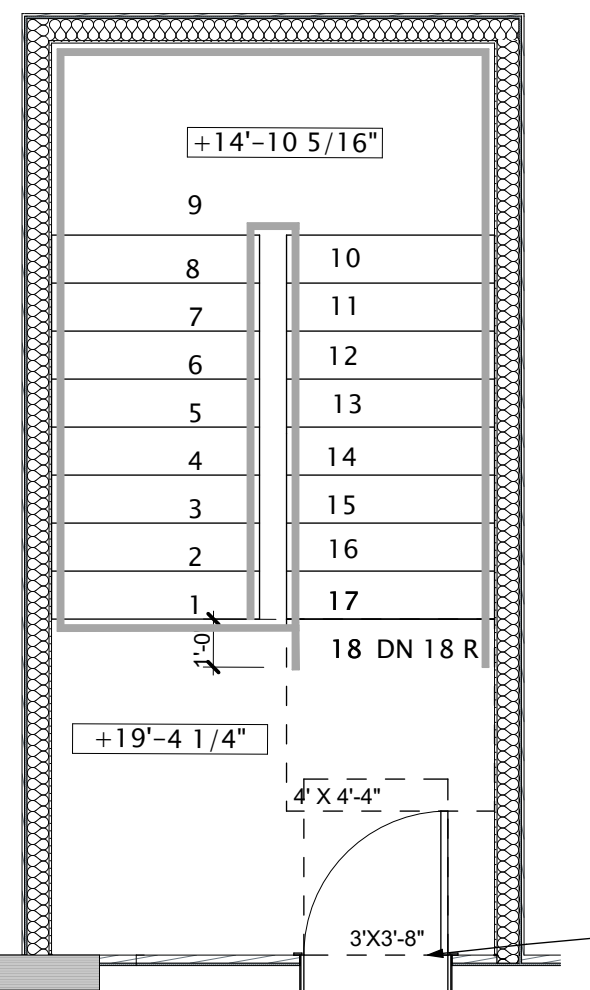
FIRST FLOOR



*FLOOR TO FLOOR HEIGHTS FOR STAIR CONSTRUCTION TO BE DETERMINED AFTER DEMOLITION AND SPECIFICATION OF FLOORING.

One-hour rated wall for fire exposure from the inside. 5/8" Type-X GWB continuous at existing exterior wall within the enclosure. Remove siding to apply GWB.

SECOND FLOOR



One-hour rated wall for fire exposure from the inside. 5/8" Type-X GWB continuous at existing exterior wall within the enclosure. Remove siding to apply GWB.

THIRD FLOOR

1 NEW STAIR ENCLOSURE
SCALE: 1/4" = 1'-0"



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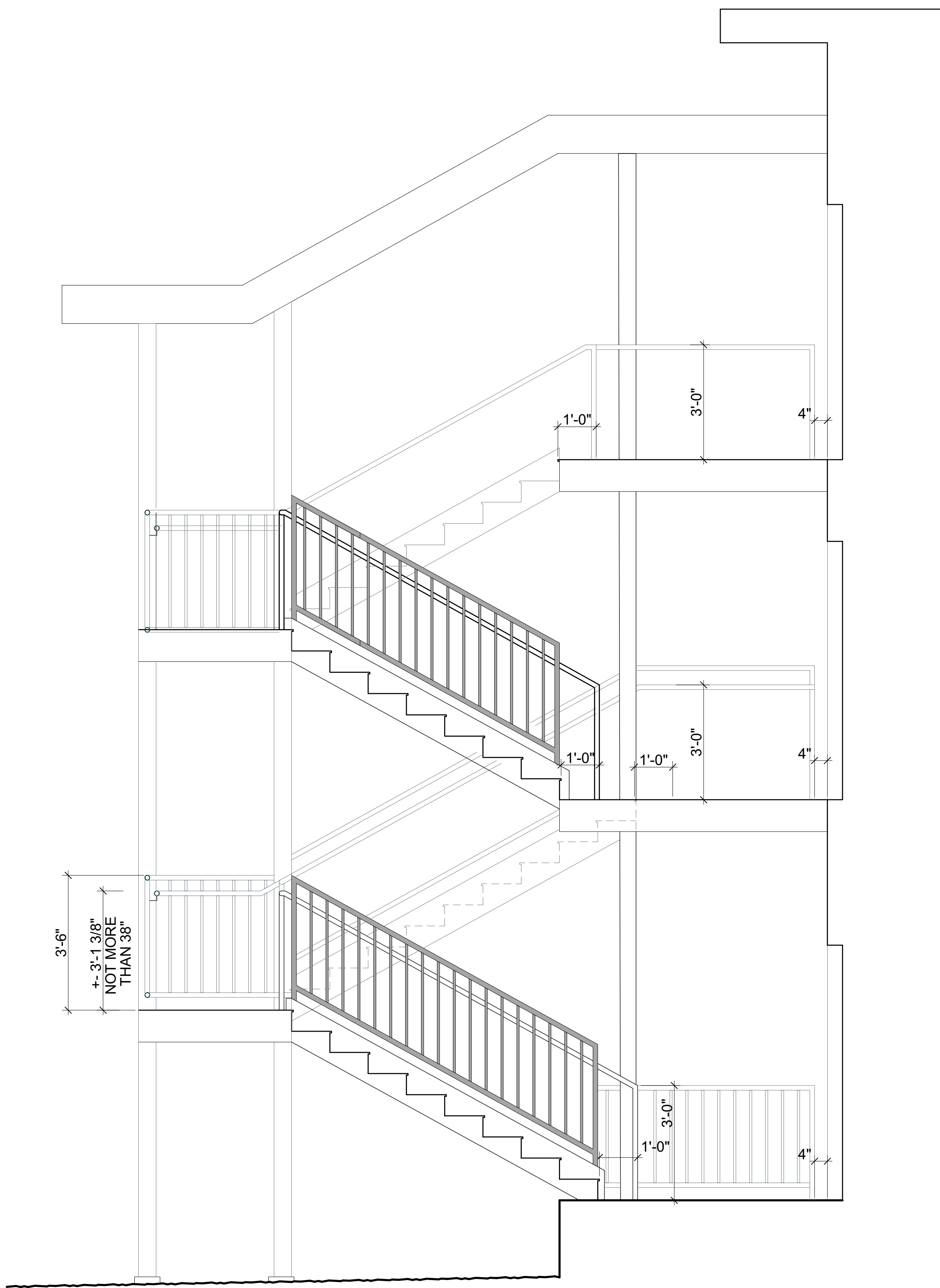
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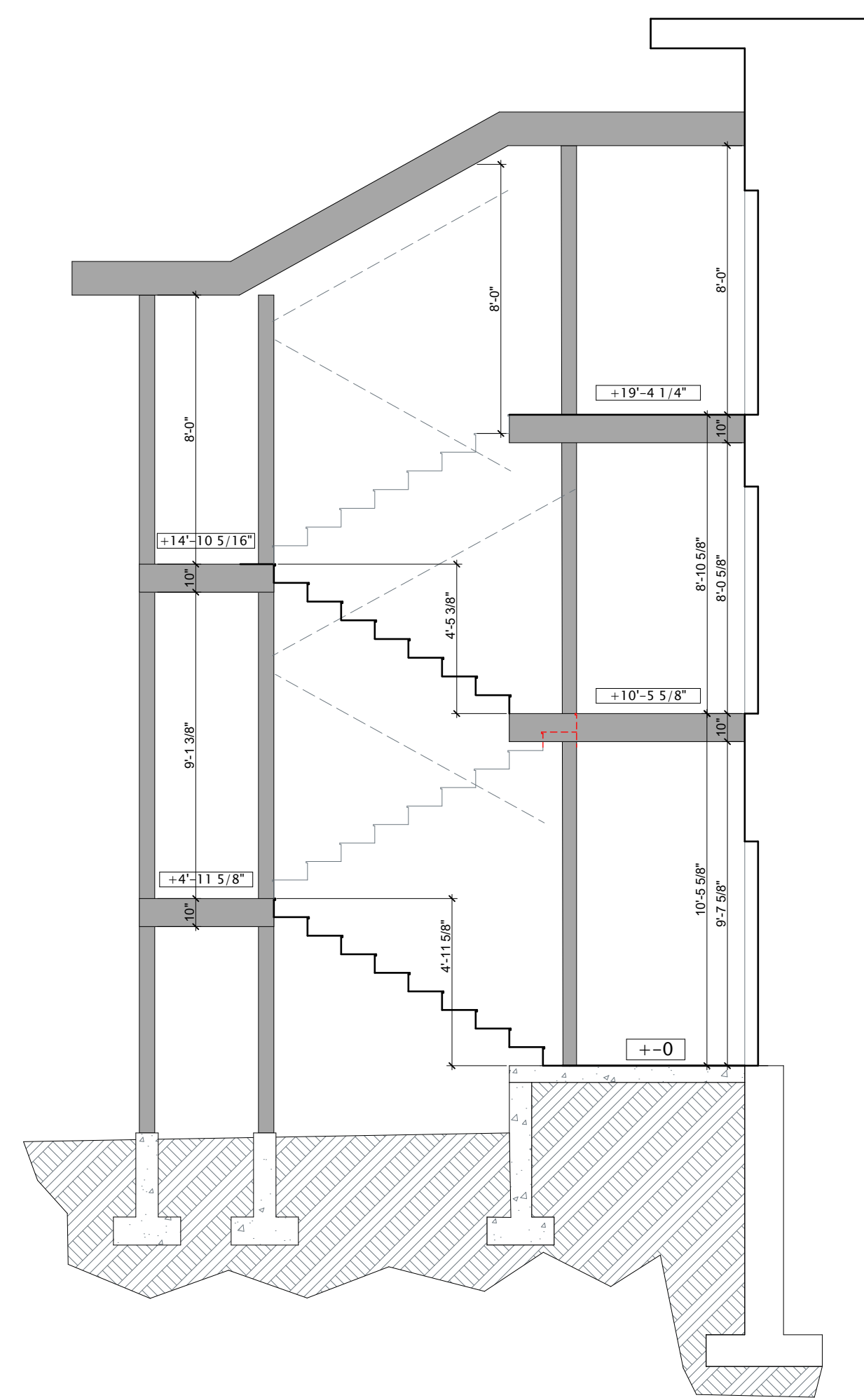
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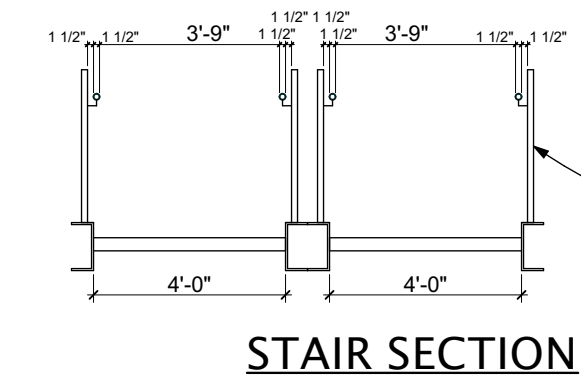


2 ATERNATE EXTERIOR STAIR
SCALE: 1/2" = 1'-0"



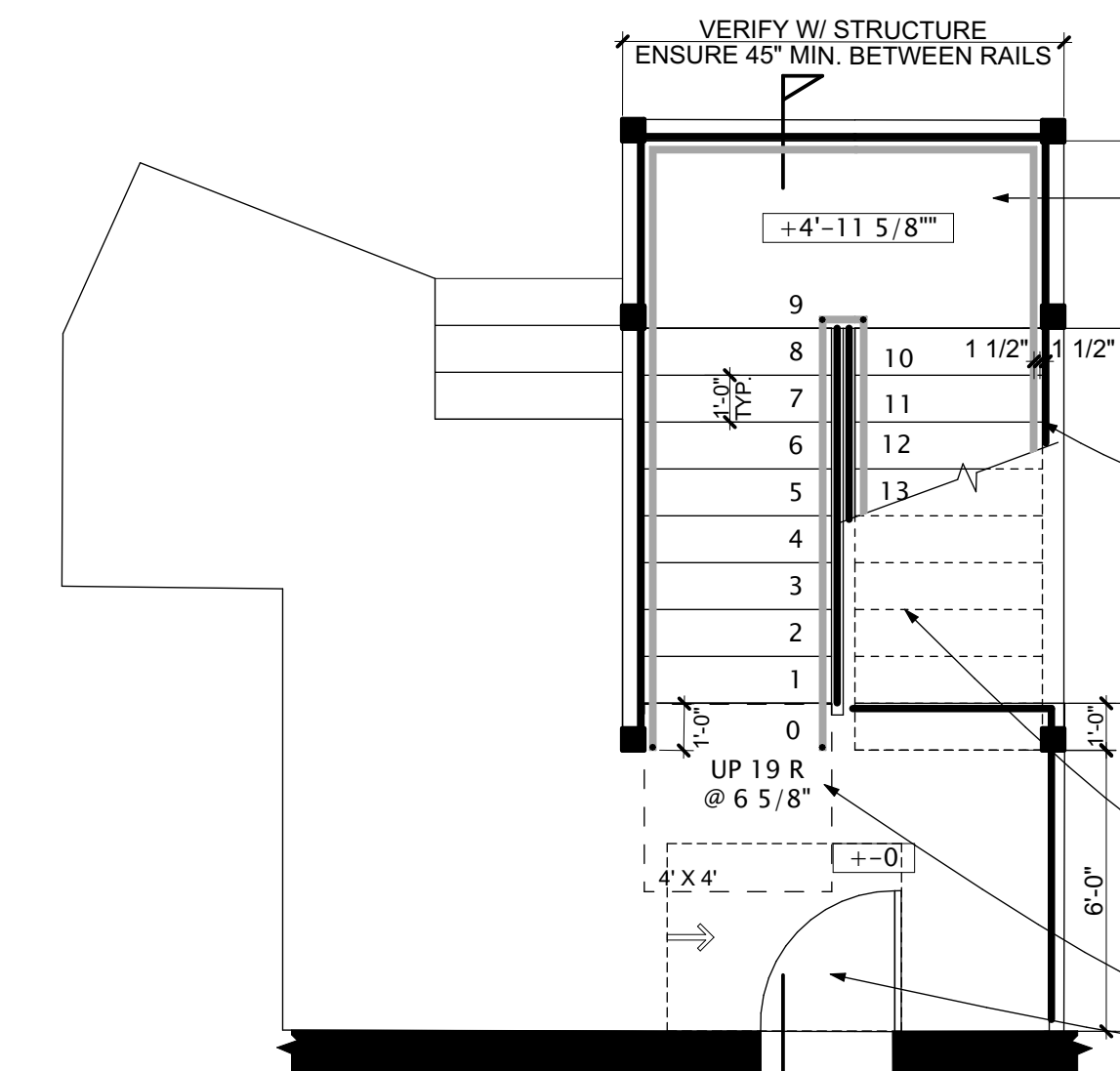
STAIR SECTION

1 ATERNATE EXTERIOR STAIR
SCALE: 1/4" = 1'-0"



Guardrail 42" above nosing of stair treads. Rail to be continuous not allowing a 4" sphere to pass through at any point.

STAIR SECTION



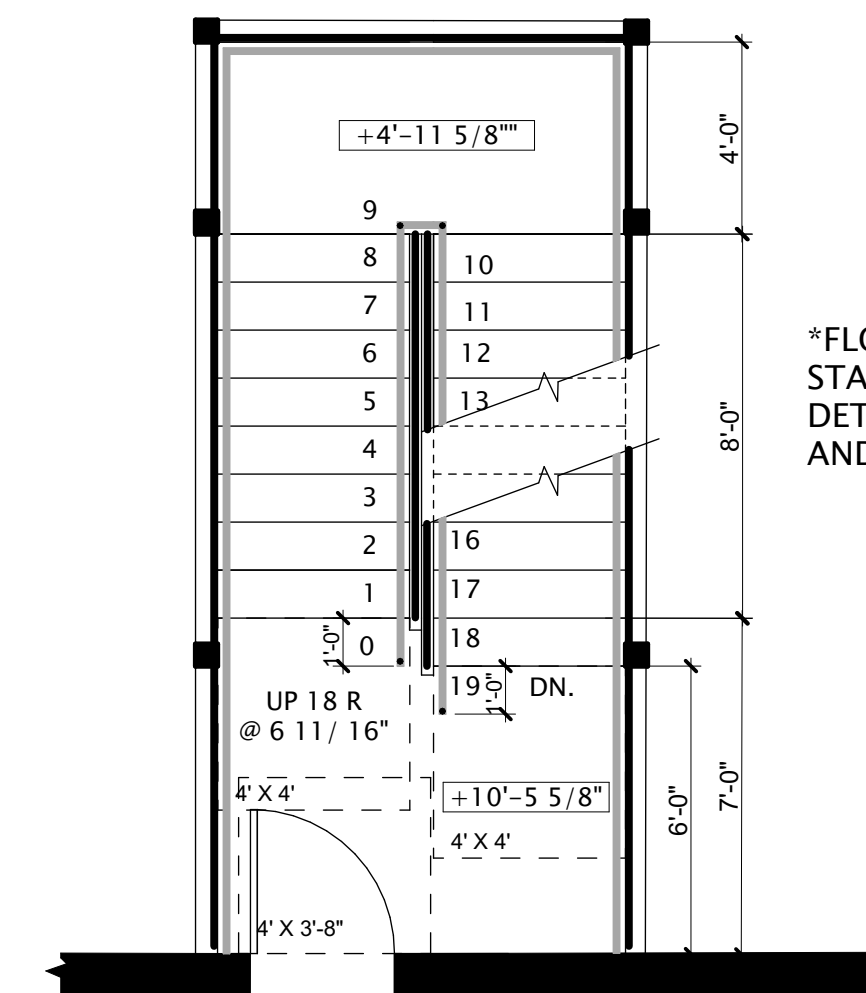
Head height above risers 6'-8" minimum.

Handrail 1 1/4" - 2" in diameter, 34" - 38" above nosing of stair treads, 1 1/2" min. clear to wall finish. Rail to be continuous from top to bottom at both sides of stair extending 1' past the top riser and extending on slope for 1' past the bottom riser. Total projection of rail not to exceed 4 1/2" each side.

Stair Risers 7" Max. height with a minimum tread depth of 11". Treads to be covered with a slip resistant material. Nosings on solid risers with curvature not greater than 9/16"

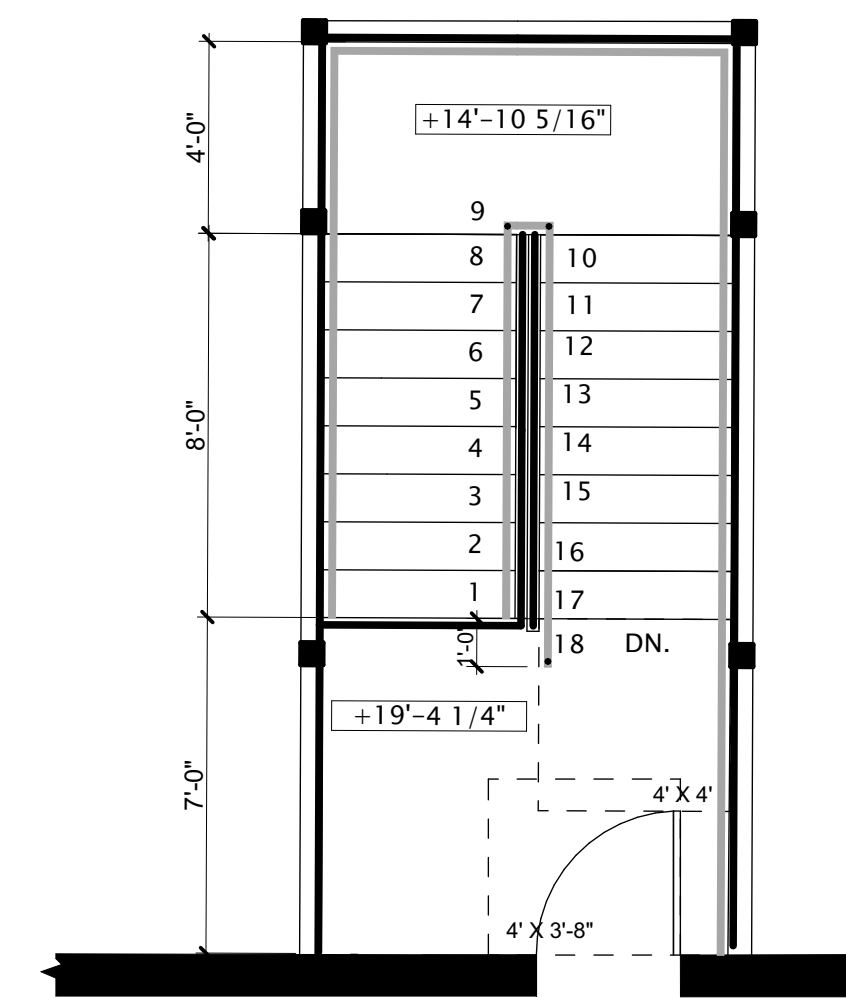
IBC Landing
ADA Clear Area

FIRST FLOOR



*FLOOR TO FLOOR HEIGHTS FOR STAIR CONSTRUCTION TO BE DETERMINED AFTER DEMOLITION AND SPECIFICATION OF FLOORING.

SECOND FLOOR

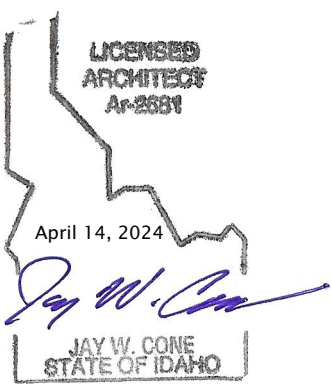


THIRD FLOOR



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4/15/2024

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A-402

SHEET 19 OF 20

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DOOR SCHEDULE							
ID	WIDTH	HEIGHT	TYPE	MATERIAL	HARDWARE	ACCESSORIES	REMARKS
0A	2'-6"	6'-0"	SWING	STEEL/INSUL	ENTRANCE	CLOSER	VERIFY INSTALLATION
1A	3'-0"	6'-8"	SWING	WOOD/GLASS	PANIC/KEYED	CLOSER	ADA, EXTERIOR LEVER, REVERSE SWING, VERIFY USING EXISTING
1D	3'-0"	6'-8"	SWING	STEEL/INSUL	PANIC/PASSAGE	CLOSER	ADA, EXTERIOR LEVER, 3/4 HOUR RATED, LABELED
1F	2'-6"	6'-8"					
1G	2'-6"	6'-8"					
1H	3'-0"	6'-8"	SWING	SOLID CORE	ENTRANCE	CLOSER	ADA LEVER, 20 MIN. RATED LABELED
1I	3'-0"	6'-8"					
1J	3'-0"	6'-8"	SWING	SOLID CORE	ENTRANCE	CLOSER	ADA LEVER, 20 MIN. RATED LABELED
1K	3'-0"	6'-8"					
1L	3'-0"	6'-8"					
1L	5'-0"	6'-8"					
1M	3'-0"	6'-8"					
1N	5'-0"	6'-8"					
1O	2'-6"	6'-8"					
1P	4'-0"	6'-8"					
1Q	3'-0"	6'-8"					
1R	2'-0"	6'-8"					
1S	2'-8"	6'-8"					
1T	3'-0"	6'-8"	SWING	STEEL/INSUL	PANIC/KEYED	CLOSER	ADA, EXTERIOR LEVER, 3/4 HOUR RATED, LABELED
1U	3'-0"	6'-8"					
2A	2'-6"	6'-8"					
2B	2'-6"	6'-8"					
2D	5'-0"	6'-8"					
2E	3'-0"	6'-8"	SWING	STEEL/INSUL	PANIC/PASSAGE	CLOSER	EXTERIOR LEVER, 3/4 HOUR RATED, LABELED
2F	3'-0"	6'-8"					
2G	3'-0"	6'-8"					
2H	3'-0"	6'-8"	SWING	SOLID CORE	ENTRANCE	CLOSER	20 MINUTE RATED LABELED
2I	3'-0"	6'-8"	SWING	SOLID CORE	ENTRANCE	CLOSER	20 MINUTE RATED LABELED
2L	3'-0"	6'-8"					
3C	3'-0"	6'-8"					
3D	3'-0"	6'-8"					
3E	2'-8"	6'-8"	SWING	SOLID CORE	ENTRANCE	CLOSER	20 MINUTE RATED LABELED
3F	2'-8"	6'-8"	SWING	SOLID CORE	ENTRANCE	CLOSER	20 MINUTE RATED LABELED
3G	3'-0"	6'-8"	SWING	STEEL/INSUL	PANIC/PASSAGE	CLOSER	EXTERIOR LEVER, 3/4 HOUR RATED, LABELED

WINDOW SCHEDULE								
ID	WINDOW SIZE		TYPE	MATERIAL	ACCESSORIES	HARDWARE	EGRESS	REMARKS
	NOMINAL WIDTH	NOMINAL HEIGHT						
01	7'-6"	5'-0"	Casement					
02	7'-6"	5'-0"	Casement					
03	4'-0"	5'-0"	Casement					
04	4'-0"	5'-0"	Casement					
05	2'-0"	5'-0"	Casement					
06	5'-0"	4'-6"	Casement					
07	5'-0"	4'-6"	Casement					
08	4'-9"	4'-6"	Casement					
09	4'-9"	4'-6"	Casement					
10	2'-0"	2'-8"	Casement					
11	5'-0"	4'-6"	Casement				YES	(E) OPENING INCREASED FOR HEIGHT
12	3'-0"	3'-0"	Casement					
13	5'-4"	4'-0"	Casement				YES	(E) OPENING INCREASESD FOR HEIGHT
14	8'-2"	5'-0"	Casement					
20	7'-3"	4'-4"	Casement					
21	7'-3"	4'-4"	Casement					
22	2'-6"	5'-0"	Casement					
23	2'-9"	3'-3"	Casement					
24	4'-0"	4'-6"	Casement				YES	
25	4'-0"	4'-6"	Casement				YES	
26	2'-9"	3'-3"	Casement					
27	4'-0"	4'-6"	Casement					
28	4'-0"	4'-6"	Casement					
29	4'-0"	4'-6"	Casement					
30	4'-9"	4'-6"	Casement					
31	4'-9"	4'-6"	Casement					
32	2'-0"	4'-5"	Casement					
33	2'-0"	4'-5"	Casement					
34	4'-0"	4'-6"	Casement					
35	4'-0"	4'-6"	Casement				YES	
36	4'-0"	4'-6"	Casement				YES	
37	4'-0"	4'-6"	Casement					
38	4'-0"	4'-6"	Casement					
39	4'-0"	4'-6"	Casement					

NOTES:
1 ALL OPERABLE WINDOWS TO HAVE SCREENS.
2 WINDOWS LABELED AS CASEMENT MAY INCLUDE A FIXED PANEL OR FLANKERS
3 WINDOWS TO MATCH LAYOUT AND GENERAL SIZE OF EXISTING EXCEPT EGRESS WINDOWS.
4 SEE SCOPE OF WORK NOTES FOR ADDITIONAL INFORMATION.

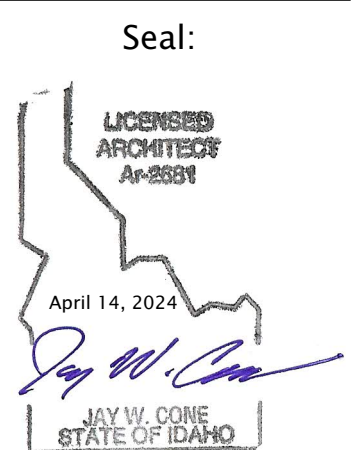
DOOR GENERAL NOTES

- ALL DOORS, DOOR FINISHES, HARDWARE TYPES, HARDWARE FINISHES, SHALL BE REVIEWED AND VERIFIED BY ARCHITECT.
- REFER TO THE FLOOR PLANS FOR DOOR LOCATIONS
- PROVIDE ORDER LIST TO OWNER AND ARCHITECT FOR APPROVAL
- SEE ENERGY COMPLIANCE MATERIALS FOR INSULATION VALUES
- INTERIOR WOOD RAISED PANEL DOORS TO MATCH EXISTING DOORS.VERIFY DOOR MATERIAL AND STYLE WITH OWNER AND ARCHITECT PRIOR TO ORDERING.
- SEE ELEVATIONS FOR STYLE AND OR DIVIDED LITE PATTERN.
- SAFETY GLAZING IS REQUIRED PER IBC, IN FIXED OR OPERABLE PANELS WITHIN A 24" ARC OF EITHER A VERTICAL EDGE OF A DOOR AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE. SAFETY GLAZING IS ALSO REQUIRED IN ALL DOORS. SAFETY GLAZING IS ALSO REQUIRED IN GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN THOSE LOCATIONS DESCRIBED ABOVE THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 - EXPOSED AREA OF THE INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
 - EXPOSED BOTTOM EDGE LESS THAT 18" ABOVE FLOOR.
 - EXPOSED TOP EDGE GREATER THAT 36" ABOVE FLOOR, AND
 - ONE ARE MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE PLANE OF THE GLAZING.
- MEANS OF EGRESS: EVERY RESIDENCE SHALL HAVE AT LEAST ONE EGRESS DOOR WHICH IS SIDE SWINGING WITH A CLEAR WIDTH OF 32" MIN. THERE SHALL BE A LANDING ON EITHER SIDE OF THE DOOR NOT LESS THAN 44" MEASURED IN THE DIRECTION OF TRAVEL WITH A WIDTH NOT LESS THAN THE DOOR BEING SERVED. DOORS SHALL BE READILY OPENABLE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE.

WINDOW GENERAL NOTES

- ALL WINDOWS, WINDOW FINISHES, HARDWARE TYPES, HARDWARE FINISHES, FLOOR FINISHES, AND WALL FINISHES SHALL BE REVIEWED AND VERIFIED BY THE OWNER.
- REFER TO THE FLOOR PLANS FOR WINDOW LOCATIONS
- PROVIDE ORDER LIST TO OWNER AND ARCHITECT FOR APPROVAL
- SEE ENERGY COMPLIANCE MATERIALS FOR INSULATION VALUES
- VERIFY WINDOW MATERIAL AND STYLE WITH OWNER AND ARCHITECT PRIOR TO ORDERING.
- SEE ELEVATIONS FOR STYLE AND OR DIVIDED LITE PATTERN.
- SAFETY GLAZING IS REQUIRED PER IBC, IN FIXED OR OPERABLE PANELS WITHIN A 24" ARC OF EITHER A VERTICAL EDGE OF A DOOR AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE. SAFETY GLAZING IS ALSO REQUIRED IN GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN THOSE LOCATIONS DESCRIBED ABOVE THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 - EXPOSED AREA OF THE INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
 - EXPOSED BOTTOM EDGE LESS THAT 18" ABOVE FLOOR.
 - EXPOSED TOP EDGE GREATER THAT 36" ABOVE FLOOR, AND
 - ONE ARE MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE PLANE OF THE GLAZING.
- EMERGENCY ESCAPE AND RESCUE OPENINGS: EVERY SLEEPING ROOM SHALL HAVE ONE OPERABLE ESCAPE OPENING. NET OPENING NOT LESS THAN 5.7 SQ. FT. NOT MORE THAN 44" OFF THE FLOOR. CLEAR HEIGHT 24" MIN., CLEAR WIDTH 20" MIN.

Date:
4/15/2024



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